

City of Huntington Beach

2000 MAIN STREET

CALIFORNIA 92648

DEPARTMENT OF PLANNING

April 23, 2009

To: Interested Parties

SUBJECT: Public Notice of Availability
Draft Mitigated Negative Declaration No. 08-01 (Edison Park Master Plan)

Notice is hereby given by the Department of Planning of the City of Huntington Beach that the following Draft Negative Declaration has been prepared:

Draft Negative Declaration No. 08-001 analyzes the potential environmental impacts associated with a proposal by the City of Huntington Beach Community Services Department to establish a park Master Plan to reconfigure existing open space areas, construct additional recreational amenities including bocce ball courts and a skate park, reconfigure an existing 132 space parking lot along Magnolia Street and provide 124 additional parking spaces, construct a new 120 space parking facility along Hamilton Avenue, install nine fitness/wellness exercise stations, install new landscape and hardscape improvements including fencing around the existing fire station and walking paths, and install four lighted practice soccer fields and a lighted multi-purpose field. The master plan is proposed to be carried out in four phases of construction over eight years.

Project Location: 21372 Magnolia Street (northwest corner of Magnolia St. and Hamilton Ave. – Edison Park)

The City of Huntington Beach is the lead agency for compliance with the California Environmental Quality Act.

The Draft Mitigated Negative Declaration will be available for public review and comment for thirty (30) days commencing Thursday, April 23, 2009 and ending Friday, May 22, 2009. Subsequent to the comment period, a public hearing will be scheduled before the City of Huntington Beach Zoning Administrator. The public hearing is tentatively scheduled for early June 2009.

A copy of the Draft Negative Declaration is on file with the Planning Department, City of Huntington Beach City Hall, 2000 Main Street, Huntington Beach, California. A copy of Draft Mitigated Negative Declaration No. 08-005 is also available for review at the Edison Community Center, 21377 Magnolia St, Huntington Beach, California, California, the City Clerk's Office, 2000 Main Street, 2nd Floor, Huntington Beach, California and on the internet at

<http://www.surfcity-hb.org/Government/Departments/Planning/PJB/eac/EAC.cfm> .

ENVIRONMENTAL CHECKLIST FORM
CITY OF HUNTINGTON BEACH
PLANNING DEPARTMENT
ENVIRONMENTAL ASSESSMENT NO. 2008-001

- 1. PROJECT TITLE:** Edison Park Master Plan
Concurrent Entitlements: Conditional Use Permit No. 2008-004
- 2. LEAD AGENCY:** City of Huntington Beach
2000 Main Street
Huntington Beach, CA 92648
- Contact:** Rami Talleh, Senior Planner
Phone: (714) 374-1682
Email: rtalleh@surfcity-hb.org
- 3. PROJECT LOCATION:** 21372 Magnolia Street (northwest corner of Magnolia St. and Hamilton Ave.)
- 4. PROJECT PROPONENT:** City of Huntington Beach,
Community Services Department
2000 Main Street
Huntington Beach, CA 92648
- Contact:** Vickie Nuse
Phone: (714) 374-1640
Email: vnuse@surfcity-hb.org
- 5. GENERAL PLAN DESIGNATION:** OS-P (Open Space – Park and Recreation Subdistrict)
- 6. ZONING:** OS-PR (Open Space – Park)
- 7. PROJECT DESCRIPTION:**

The park master plan proposes to reconfigure existing open space areas, add recreational amenities, reconfigure and expand the existing parking facility, construct a new parking facility, install new landscape and hardscape improvements, and install four practice soccer fields and a multi-purpose field. The master plan is proposed to be carried out in four phases of construction over eight years.

The 40 acre park is currently developed with a 132 space parking lot, 17,000 sq. ft. community center, two lighted baseball diamonds, batting cages, tennis courts, basketball courts, racquetball courts, picnic areas, play areas, volleyball courts, and a system of concrete walkways throughout the park. In addition, the Magnolia Fire station is located on park grounds (Attachment No. 3). Existing activities on the site include City run sport programs such as flag football, adult softball tournaments, and sports clinics. Several organized youth sport groups operate youth softball games and use the open field areas for football practice.

The reconfiguration of existing open space areas involves the relocation of concrete walkways and removal of existing trees to allow adequate open area for the installation of the multi purpose field and

practice fields. In addition, nine fitness/wellness exercise stations will be installed along the new and existing portion of the walkway.

The existing 132 space parking lot located at the east end of the site will be reconfigured and expanded along Magnolia Street. It will be expanded by 124 parking spaces for total of 256 parking spaces (see table below). The reconfigured parking lot will include two drop off areas: one adjacent to the existing community center and a second adjacent to the existing picnic areas. The existing drive approaches along Magnolia Street will be reconstructed to comply with current code requirements. The northerly most drive approach will be widened to provide a 40 ft. driveway entrance leading to the community center drop off area.

A new 120 space parking lot will be constructed on the south end of the site along Hamilton Avenue adjacent to and underneath the existing Southern California Edison (SCE) transmission lines which currently consists of turf. The new parking lot will span across a majority of the Hamilton Street frontage and include the construction of four new drive approaches.

Parking Breakdown			
Parking Areas	Number of Existing Parking Spaces	Proposed Number of additional parking spaces	Total On-site Parking
East On-site Parking Lot	132	124	256
South On-site Parking Lot	0	120	120
Hamilton Avenue Off-site parking	40	0	-
Stilwell Drive Off-site parking	77	0	-
TOTAL	249	244	376*

* Total excludes off-site parking on Hamilton Ave. and Stilwell Drive

New landscape and hardscape improvements will be installed in areas surrounding the existing park amenities. Two bocce ball courts and a skate park will also be constructed within the vicinity of the existing park amenities. A combination block wall and wrought iron fence will be constructed around the existing fire station.

The soccer practice fields will be located along the south side of the park parallel to Hamilton Avenue. Approximately six new sport lights will be constructed in conjunction with the practice fields. The practice fields are intended to be utilized by organized youth sport groups and are not anticipated to draw an audience. The multi-purpose field is proposed to be located west of the existing ball fields. Two existing sport lights will be relocated to provide adequate space for the multi-purpose field. The main intent of the field is to provide youth groups with an area to conduct practices and scrimmages in a “game-like” setting. The field will be used by youth groups that would include soccer, football, field hockey and lacrosse. However, it is also anticipated that the field will be used upon occasion for organized games, but it will not be designated as a “home-field” for a particular group which would normally require a season with scheduled games. Additionally, when the field is in use for games, the existing adjacent ball fields will not be programmed for use.

Phasing for the project is proposed over 8 years. The first phase of construction will include reconfiguration and expansion of a portion of the existing parking area adjacent to the Magnolia Fire Station, construction of three of the four practice fields, and approximately half of the new parking lot located along Hamilton Ave. This phase is anticipated to begin in 2008 and last approximately 12 -16 months. The second phase incorporates the remainder of the new parking lot located along Hamilton, the fourth practice field, and the multi-purpose field. This phase is anticipated to begin in 2010 and last approximately 16 months. The third phase includes all the hardscape and landscape improvements surrounding the existing parking amenities. This phase is anticipated to begin in 2012 and last approximately 16 months. The fourth and final phase includes the reconfiguration and expansion of the remaining portion of the existing parking lot located along Magnolia Street. This phase is anticipated to begin in 2014 and last approximately 16 months.

Schedule of proposed improvements				
Improvements	Phase 1	Phase 2	Phase 3	Phase 4
Expansion of existing parking lot				X
New Parking Lot	X	X		
Practice Fields	X	X		
Multi Purpose Field		X		
Relocation of existing walkways and trees	X	X	X	X
Landscape and hardscape improvements (including bocce ball courts and skate park)			X	

8. SURROUNDING LAND USES AND SETTING: Edison Park is surrounded by single family residences and an elementary school to the north and east, the Ascon landfill to the south, and Edison High School to the east.

9. OTHER PREVIOUS RELATED ENVIRONMENTAL DOCUMENTATION:
None.

10. OTHER AGENCIES WHOSE APPROVAL IS REQUIRED (AND PERMITS NEEDED)
None.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” or is “Potentially Significant Unless Mitigated,” as indicated by the checklist on the following pages.

- Land Use / Planning
- Transportation / Traffic
- Public Services
- Population / Housing
- Biological Resources
- Utilities / Service Systems
- Geology / Soils
- Mineral Resources
- Aesthetics
- Hydrology / Water Quality
- Hazards and Hazardous Materials
- Cultural Resources
- Air Quality
- Noise
- Recreation
- Agriculture Resources
- Mandatory Findings of Significance

DETERMINATION

(To be completed by the Lead Agency)

On the basis of this initial evaluation:

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

I find that the proposed project **MAY** have a “potentially significant impact” or a “potentially significant unless mitigated impact” on the environment, but at least one impact (1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.

I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or **NEGATIVE DECLARATION** pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or **NEGATIVE DECLARATION**, including revisions or mitigation measures that are imposed upon the proposed project, **nothing further is required.**

Signature Rami Talkh
 Printed Name Rami Talkh

Date 4/21/09
 Title Senior Planner

EVALUATION OF ENVIRONMENTAL IMPACTS:

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to the project. A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards.
2. All answers must take account of the whole action involved. Answers should address off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. “Potentially Significant Impact” is appropriate, if an effect is significant or potentially significant, or if the lead agency lacks information to make a finding of insignificance. If there are one or more “Potentially Significant Impact” entries when the determination is made, preparation of an Environmental Impact Report is warranted.
4. “Potentially Significant Impact Unless Mitigated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section XVIII, “Earlier Analyses,” may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). Earlier analyses are discussed in Section XVIII at the end of the checklist.
6. References to information sources for potential impacts (e.g., general plans, zoning ordinances) have been incorporated into the checklist. A source list has been provided in Section XVIII. Other sources used or individuals contacted have been cited in the respective discussions.
7. The following checklist has been formatted after Appendix G of Chapter 3, Title 14, California Code of Regulations, but has been augmented to reflect the City of Huntington Beach’s requirements.

(Note: Standard Conditions of Approval - The City imposes standard conditions of approval on projects which are considered to be components of or modifications to the project, some of these standard conditions also result in reducing or minimizing environmental impacts to a level of insignificance. However, because they are considered part of the project, they have not been identified as mitigation measures. For the readers’ information, a list of applicable standard conditions identified in the discussions has been provided as Attachment No. 6.)

SAMPLE QUESTION:

<i>ISSUES (and Supporting Information Sources):</i>	<i>Potentially Significant Impact</i>	<i>Potentially Significant Unless Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
<i>Would the proposal result in or expose people to potential impacts involving:</i>				
<i>Landslides? (Sources: 1, 6)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion: The attached source list explains that 1 is the Huntington Beach General Plan and 6 is a topographical map of the area which show that the area is located in a flat area. (Note: This response probably would not require further explanation).

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

I. LAND USE AND PLANNING. Would the project:

- | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? (Sources: #1, 2, & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The project will not result in new land uses or changes to existing land use and zoning designations. Park and recreation facilities are allowed with approval of a conditional use permit by the Planning Commission. Therefore, the project will not conflict with any land use plan in the City of Huntington Beach, including the Municipal Code, the Zoning and Subdivision Ordinance and the General Plan. No impacts are anticipated.

- | | | | | |
|-----------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Conflict with any applicable habitat conservation plan or natural community conservation plan? (Sources: #1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-----------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The project site is not located within an area designated as a wildlife habitat area. The proposed project would not conflict with any applicable habitat conservation plan or natural community conservation plan as none exists in the City. No impacts are anticipated.

- | | | | | |
|-------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Physically divide an established community? (Sources: # 3 & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The proposed project will not disrupt or physically divide an established community. The proposed project involves a master plan to reconfigure Edison Park and does not consist of the construction of any roads, road widening, rail lines, bridges or other features that would physically divide a community. No impacts would occur.

II. POPULATION AND HOUSING. Would the project:

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Induce substantial population growth in an area, either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extensions of roads or other infrastructure)? (Sources: #1) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

Discussion:

The proposed master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park accommodates additional development/population growth that is accounted for in the General Plan. However the facility is unlikely create new employment opportunities or create jobs such that people would be induced to move into the area. The proposed project is located within a developed urbanized area with adequate infrastructure to serve the project, and no new offsite infrastructure would be required; therefore the project would not induce growth, either directly or indirectly, creating a need to extend major infrastructure. The pattern and rate of population and housing growth in the City would be expected to remain consistent with that anticipated by existing plans for the area. Less than significant impacts would occur.

- | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? (Sources: #1, 3, & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

See discussion under item c.

- | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? (Sources: #1, 3, & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-----------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion b & c:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park where no residential uses exist on site. In addition, acquisition of land would not be required to accommodate the proposed improvements. The project would not result in the displacement of any housing or people. No impacts would occur.

III. GEOLOGY AND SOILS. Would the project:

- | | | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving: | | | | |
| i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? (Sources: #1 & 6) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion:

See discussion under item e.

- | | | | | |
|------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| ii) Strong seismic ground shaking? (Sources: #1 & 6) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

See discussion under item e.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
iii) Seismic-related ground failure, including liquefaction? (Sources: #1, 6, & 13)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Discussion: See discussion under item e.				
iv) Landslides? (Sources: #1)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Discussion: See discussion under item e.				
b) Result in substantial soil erosion, loss of topsoil, or changes in topography or unstable soil conditions from excavation, grading, or fill? (Sources: #1 & 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Discussion: See discussion under item e.				
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? (Sources: #1 & 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Discussion: See discussion under item e.				
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? (Sources: #1 & 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Discussion: See discussion under item e.				
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of wastewater (Sources: #4)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion a – e:

Southern California is a seismically active region and a portion of the Newport-Inglewood fault traverses through the city within the project vicinity. Based upon the City’s General Plan and Geotechnical Inputs Study, the project site is located within an area of moderate to high potential for expansive soil. The General Plan Environmental Hazards Element shows that the project area is an area with no potential for unstable slope areas, but is an area with high to very high potential for liquefaction.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

The project proposes to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. No new structures or uses are proposed and a majority of the improvements will consist of either landscape or hardscape improvements. The project does not involve development that would necessitate the construction of alternative waste water disposal systems. The proposed project does not propose changes in topography and will not require any excavation work. Minimal grading will occur on the site that will result in a balanced cut and fill. No new habitable structures are proposed to be constructed within the park that would be affected in the event of seismic activity. Less than significant impacts would occur.

IV. HYDROLOGY AND WATER QUALITY. Would the project:

- a) Violate any water quality standards or waste discharge requirements? (Sources: #1 & 4)

Discussion:

Water quality standards and waste discharge requirements will be addressed in the project design and development phase pursuant to a Storm Water Pollution Prevention Plan (SWPPP) and Water Quality Management Plan (WQMP), prepared by a Civil or Environmental Engineer in accordance with the National Pollution Discharge Elimination System (NPDES) regulations and approved by the City of Huntington Beach Department of Public Works. The SWPPP and WQMP will establish Best Management Practices (BMPs) for construction and post-construction operation of the facility, including source, site and treatment controls to be installed and maintained at the site. The WQMP and SWPPP are standard requirements for development in the City of Huntington Beach, and with implementation, will ensure compliance with water quality standards and wastewater discharge requirements. Less than significant impacts would result.

- b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted? (Sources: #1 & 4)

Discussion:

The proposed project does not involve development of new structures or expansion of parkland that would create additional water demand such that it would substantially deplete groundwater supplies. The site is currently irrigated and will not require additional irrigation. No impacts would occur.

- c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off-site? (Sources: #1, & 4)

Discussion:

See discussion under item e.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off-site? (Sources: #1, & 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Discussion: See discussion under item e.				
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? (Sources: #4)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Discussion c – e: There are no streams or rivers on the project site and surrounding area. The project proposes to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The amount of impervious surfaces within the park will be increased due to the expansion of the existing parking lot along Magnolia St. and the new parking facility along Hamilton Ave. However approximately 78% of the site will remain landscaped. The parking lot expansion will not substantially alter existing drainage patterns or increase the rate or amount of surface runoff in a manner which would result in flooding on or off-site. Any additional runoff will be directed into the existing drainage system for the property. Less that significant impacts would occur.				
f) Otherwise substantially degrade water quality? (Sources: #4)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Discussion: See discussion under item a.				
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? (Sources: #4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Discussion: See discussion under item i.				
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows? (Sources: #4)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Discussion: See discussion under item i.				
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? (Sources: #4, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

Discussion g – i:

The subject site is located within Flood Insurance Rate Map (FIRM) Zone AE, which is subject to Federal Flood Development requirements and is within the 100-year flood hazard area. The project does not propose development of new housing or uses that would expose people and structures to the risks of flooding.

- | | | | | |
|------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| j) Inundation by seiche, tsunami, or mudflow? (Sources: #1, & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

According to the General Plan Environmental Hazards Element, the project site is not subject to inundation by seiche or mudflow and therefore no adverse impacts would occur. However the site is located within a tsunami run up area. The project proposes to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. No structures are proposed that would be impacted in the event of a tsunami; however, the improvements could result in more users in the park. Tsunami signs have been posted on major streets along the coast to help residents and visitors identify the Tsunami Hazard Zone and Evacuation Routes. Less than significant impacts would occur.

- | | | | | |
|-------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| k) Potentially impact stormwater runoff from construction activities? (Sources: #4) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|-------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

See discussion under items a and e.

- | | | | | |
|------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| l) Potentially impact stormwater runoff from post-construction activities? (Sources: #4) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

See discussion under items a and e.

- | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| m) Result in a potential for discharge of stormwater pollutants from areas of material storage, vehicle or equipment fueling, vehicle or equipment maintenance (including washing), waste handling, hazardous materials handling or storage, delivery areas, loading docks or other outdoor work areas? (Sources: #4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The proposed project will not include any of the activities described above and therefore will not have any impacts.

- | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| n) Result in the potential for discharge of stormwater to affect the beneficial uses of the receiving waters? (Sources: #4) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|-----------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

See discussion under items a and e.

- | | | | | |
|----------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| o) Create or contribute significant increases in the flow velocity or volume of stormwater runoff to cause environmental harm? (Sources: #4) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

Discussion:

See discussion under item e.

- | | | | | |
|------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| p) Create or contribute significant increases in erosion of the project site or surrounding areas? (Sources: #4) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

See discussion under Section III item e.

V. AIR QUALITY. The city has identified the significance criteria established by the applicable air quality management district as appropriate to make the following determinations. Would the project:

- | | | | | |
|----------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? (Sources: #1, 4, 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

See discussion under item e.

- | | | | | |
|--------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Expose sensitive receptors to substantial pollutant concentrations? (Sources: #1, 4, 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

See discussion under item e.

- | | | | | |
|---------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Create objectionable odors affecting a substantial number of people? (Sources: #1, 4, 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

See discussion under item e.

- | | | | | |
|-----------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) Conflict with or obstruct implementation of the applicable air quality plan? (Sources: #1, 4, 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|-----------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

See discussion under item e.

- | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| e) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? (Sources: #1, 4, 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

		Potentially Significant	Potentially Significant	Potentially Significant
		Unless Mitigation Incorporated	Less Than Significant	No Impact
ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Unless Mitigation Incorporated	Less Than Significant	No Impact

Discussion a – e:

The project proposes to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. No new structures or expansion of parkland are proposed. The proposed park master plan is not anticipated to generate a significant increase in the number of trip generations. The new amenities are anticipated to draw from current users of the park and would not significantly increase trip generation. The new amenities will operate in the same capacity as existing amenities and are not anticipated to create objectionable odors or expose sensitive receptors to substantial pollutant concentrations. Long-term air quality impacts, which typically refer to stationary emission sources, would not be a result of the proposed project.

Construction activities may result in a short-term increase in dust and demolition equipment emissions. With implementation of standard code requirements, short-term air pollution impacts from construction and demolition will be less than significant. These code requirements may include but are not limited to: frequent watering of the site to prevent dust, street sweeping as necessary, use of low sulfur fuel, and discontinuing demolition or construction on days where there is a second stage smog alert.

The City of Huntington Beach is in a non-attainment area for Ozone, PM_{2.5} and PM₁₀ pollutants. The project would contribute these pollutants to the area temporarily during project construction. However, since minimal emissions are anticipated such that no air quality standard is expected to be exceeded, the project would not result in a cumulatively considerable net increase of any non-attainment criteria pollutant. Furthermore, upon completion, the project will not generate measurable long-term air quality impacts and would return to pre-project conditions.

VI. TRANSPORTATION/TRAFFIC. Would the project:

- a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (e.g., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?
- (Sources: #1, 3, 4 & 10)

Discussion:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. Although, no expansion of parkland is proposed, additional recreational amenities consisting of four practice fields and one regulation sized multi-purpose field are proposed. These amenities are located in existing open areas, which are currently utilized by groups and teams for informal practice. Formal use of these fields for practice or games may result in an increase of vehicle trips. The ITE Trip Generation Manual does not provide estimate trip generation for renovations to existing parks. However, trip generation for the proposed fields could be estimated using industry parking standards for sport fields. Based on industry parking standards, the regulation sized multi-purpose field requires up to 24 parking spaces. The smaller practice fields require up to 6 parking spaces each for a total of 24 spaces for all the practice fields. The fields could accommodate up to 12 games within the multi-purpose field and 12 practices in the practice field per day. Trip generation for the new fields can be estimated by multiplying the maximum number of games and practices per day by the number of parking spaces expected to be occupied by each game or practice. The result is a maximum of 576 trips per day. The Public Works Department Traffic Division stated that this method of calculating the trip generation created by the sport fields is conservative and may result in a higher number of trip generations than

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Mitigation Incorporated	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	----------------------------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

that which may occur. Other amenities proposed within the park are anticipated to draw from current users of the park. Current levels of service (LOS) for the Magnolia St. and Hamilton Ave. intersection are LOS A during a.m. peak time and LOS B during p.m. peak time. The levels of service for the Magnolia St. and Atlanta Ave. intersection are LOS A during a.m. peak time and LOS A during p.m. peak time. An increase of 576 daily trips will not impact the existing levels of service for the surrounding street intersections. Less than significant impacts are anticipated.

- b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways? (Sources: #1, 3, 4 & 10)

Discussion:

The project proposes to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The project does not propose new structures or parkland expansion that would exceed level of service standards for roads and highways. Less than significant impacts would occur.

- c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? (Source: #11)

Discussion:

The project proposes to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. Although the City is located within the Airport Environs Land Use Plan for Joint Forces Training Base Los Alamitos, the project will not result in the development of new structures or parkland expansion that would interfere with existing airspace or flight patterns. No impacts would occur.

- d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses? (Source: #4)

Discussion:

The proposed project does not involve the development of new structures or parkland expansion and does not include reconfiguration of existing roadways. However the project does propose the construction of four new drive approaches along Hamilton Ave. and widening of an existing drive approach along Magnolia Street. The drive approaches will be constructed in accordance with all City standards and will not result in increased hazards to traffic along Magnolia St. and Hamilton Ave. Less than significant impacts would occur.

- e) Result in inadequate emergency access? (Sources: #1, 3 & 4)

Discussion:

The proposed site plan has been reviewed by the Departments of Fire and Public Works for conformance with City requirements for emergency access. The project's proposed onsite circulation has been found to be consistent with City standards for emergency access and circulation. Therefore, less than significant impacts are anticipated to occur.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
f) Result in inadequate parking capacity? (Sources: #2, 3 & 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The multi-purpose field and four practice fields require a total of 48 parking spaces based upon industry parking standards. A total of 244 additional parking spaces will be provided in conjunction with the park reconfiguration. The additional parking spaces will provide adequate parking for the proposed fields as well as provide surplus parking for park users who currently use Hamilton Ave. and Stilwell Dr. for parking. The total number of on site parking spaces will provide more than sufficient parking for the park. Less than significant impacts would occur.

g) Conflict with adopted policies supporting alternative transportation (e.g., bus turnouts, bicycle racks)? (Sources: 1, 3 & 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
----------------------------------------------------------------------------------------------------------------------------------	--------------------------	--------------------------	--------------------------	-------------------------------------

Discussion:

The development will not conflict with any established policies supporting alternative transportation. Existing bicycle racks are not proposed to be removed from the site. No impacts are anticipated.

VII. BIOLOGICAL RESOURCES. Would the project:

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S., Fish and Wildlife Service? (Sources: #1)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	-------------------------------------	--------------------------	--------------------------

Discussion:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. No new structures or expansion of parkland is proposed. Existing open areas are currently utilized by groups and teams for informal practice. These areas will be utilized in a similar fashion but will consist of formal programs for practices. The intensity of activity on the site will not increase significantly. Construction of the new parking lot will result in temporary noise disturbances. The proposed parking lot area is currently landscaped with turf and trees. The existing vegetation is ornamental in nature and does not provide habitat for unique, sensitive, or endangered species. Furthermore, the site is not shown in the General Plan as a generalized habitat area, and is not in the vicinity of any sensitive habitat. However, the removal of mature trees onsite would be considered a potentially significant impact. The *Migratory Bird Treaty Act* (MBTA) protects over 800 species, including geese, ducks, shorebirds, raptors, songbirds, and many relatively common species. Mitigation measure BIO-1 (See Discussion under item d) is proposed to address the removal of mature trees onsite.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or US Fish and Wildlife Service? (Sources: #1)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion a & b:

The project site does not contain any riparian habitat or sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or US Fish and Wildlife Service. The project will not result in any loss to endangered or sensitive animal or bird species and does not conflict with any habitat conservation plans.

c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? (Sources: #1, & 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	--------------------------	--------------------------	-------------------------------------

Discussion:

The project does not contain any wetlands; therefore, no impacts would occur.

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors or impede the use of native wildlife nursery sites? (Sources: #1)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	-------------------------------------	--------------------------	--------------------------

Discussion:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The site does not support any fish or wildlife and should not interfere with the movement of any fish or wildlife species nor impede the use of native wildlife nursery sites. However, due to the abundance of mature trees on the project site, migratory species may use portions of the site for nesting during breeding season, which are protected under the *Migratory Bird Treaty Act* (MBTA). Project implementation and grading-related activities may result in the disturbance of nesting species protected by the MBTA. The MBTA protects over 800 species, including geese, ducks, shorebirds, raptors, songbirds, and many relatively common species. The loss of nesting efforts of sensitive species protected by the MBTA, as a result of the removal of mature trees onsite, would be considered a potentially significant impact. Therefore, the following mitigation measure would be required to lessen the impact on migratory wildlife species.

BIO-1: Prior to the onset of ground disturbance activities, the City shall implement the following mitigation measure which entails nesting surveys and avoidance measures for sensitive nesting and MBTA species, and appropriate agency consultation.

Nesting habitat for protected or sensitive species:

1. Vegetation removal and grading/construction shall occur between September 1 and January 31 whenever feasible.
2. Prior to any grading or vegetation removal between February 15 and August 31, a nesting

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------	--------------------------------------------------------	------------------------------	-----------

survey shall be conducted by a qualified biologist of all habitats within 500 feet of the grading/construction area. Surveys shall be conducted no less than 14 days and no more than 30 days prior to commencement of grading/construction activities and surveys will be conducted in accordance with California Department of Fish and Game (CDFG) protocol as applicable. If no active nests are identified on or within 500 feet of the grading/construction site, no further mitigation is necessary. A copy of the pre-grading/construction survey shall be submitted to the City of Huntington Beach and CDFG. If an active nest of a MBTA protected species is identified onsite (per established thresholds), a 250-foot no-work buffer shall be maintained between the nest and grading/construction activity. This buffer can be reduced in consultation with CDFG and/or U.S. Fish and Wildlife Service.

3. Completion of the nesting cycle shall be determined by a qualified ornithologist or biologist.

Implementation of the above mitigation measure would ensure that the substantial loss of these species will not occur and would reduce this impact to a less than significant level.

- e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? (Sources: #1, 2, & 4)

Discussion:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The Community Services Department completed a survey for the project site, which identifies trees on the site, describes the size and condition of each tree and the feasibility of retention or relocation of trees. According to the survey data, the site contains 206 mature trees that would be impacted by construction. Of the 206 impacted trees, 0 are proposed to remain, 5 are proposed to be relocated, and 201 trees are proposed to be removed.

BIO-2: The removal of 201 mature trees has the potential to significantly impact biological resources. To mitigate this potentially significant impact, tree replacement for existing mature trees on-site shall be in accordance with the requirements of Chapter 232—Landscape Improvements of the HBZSO.

BIO-3: For the 5 trees to be relocated, proper translocation procedures are required in order to avoid potentially significant impacts as a result of the relocation. To mitigate this potentially significant impact, the following shall be adhered to:

1. The trees shall be transplanted by a qualified tree service to be approved by the City of Huntington Beach Public Works Department.
2. Prior to translocation of the trees, detailed specifications and procedures for the translocation shall be submitted to the Department of Public Works for review and approval.
3. The relocated trees shall be maintained and guaranteed to be alive and thriving after four years by a qualified tree service or arborist to be approved by the City of Huntington Beach Public Works Department. The trees shall be surveyed every six months for a period of four years as to their viability. The survey shall be submitted to the City

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

Landscape Architect for review. In the even that any tree is not surviving, it shall be replaced with the same type and size of tree.

Implementation of the translocation specifications, guarantee of tree survival, and tree replacement requirements would reduce the impact of the translocation of these mature trees to a less than significant level.

Construction of the project will be subject to standard City requirements for the submittal of landscape plans demonstrating compliance with current code requirements and the replacement of existing mature healthy trees to be removed at a minimum of 2:1 ratio. 412 trees are proposed to replace the 206 trees that are removed.

- | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? (Sources: #1 & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

There is no Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan for the area; therefore, no impacts are anticipated.

VIII. MINERAL RESOURCES. Would the project:

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? (Sources: #1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

See discussion under item b.

- | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan? (Sources: #1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion a & b:

Although Huntington Beach has been the site of oil and gas extraction since the 1920s, oil production has decreased over the years, and today, oil producing wells are scattered throughout the City. The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The project site is not designated as a known or important mineral resource recovery site in the General Plan or any other land use plan. Therefore, the proposed project will not result in the loss of a known mineral resource. No impacts would occur.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

IX. HAZARDS AND HAZARDOUS MATERIALS.

Would the project:

- | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? (Sources: #1 & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

See discussion under item c.

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? (Sources #1 & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

See discussion under item c.

- | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Emit hazardous emissions or handle hazardous or acutely hazardous material, substances, or waste within one-quarter mile of an existing or proposed school? (Sources: #1, 3, & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion a – c:

The nearest school, Edison High School is located across Magnolia Ave. The project does not propose new structures or uses that will involve the transport, use or disposal of hazardous materials nor will the project result in hazardous impacts. The project does not provide on-site fuel dispensing, underground or outdoor storage of hazardous materials. No impacts would occur.

- | | | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? (Sources: #1, 4, & 12) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

Edison Park is not listed on the State’s Hazardous Waste and Substance Site List. However, a portion of the site was used as landfill until the late 1960’s. The landfill is located beneath the baseball diamonds. No construction activities are proposed within the site of the previous landfill. In addition, the only hazardous materials site in the city, Ascon landfill, is located to the south of the site across Hamilton Avenue. Grading/construction activities at the subject site are not expected to disturb the Ascon site. No impacts would occur.

- | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? (Sources: #11) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------	--------------------------------------------------------	------------------------------	-----------

Discussion:

See discussion under item f.

- | | | | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? (Sources: #11) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion e & f:

Edison Park is not within the vicinity of a private airstrip. Although the City of Huntington Beach is included in the Orange County Airport Environs Land Use Plan due to the Los Alamitos Armed Forces Reserve Center, the project does not propose new structures or uses that would expose people to safety hazards. The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park; implementation of the proposed project will not change existing conditions as they pertain to safety hazards from flight activity. No impacts would occur.

- | | | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? (Sources: #1, 3, & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The proposed project will not impede access to the surrounding area and impair implementation or physically interfere with any adopted emergency response plan or evacuation plan. No impacts would occur.

- | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| h) Expose people or structures to a significant risk of loss, injury, or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? (Sources: #1, 3, & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The project consists of a community park located within a developed area. The site is not near any wild lands. No impacts would occur.

X. NOISE. Would the project result in:

- | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? (Sources: #1, 3, 4, & 14) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

During the site grading for the new parking lot and other construction phases of the project, noise levels on the site may increase from normal construction vehicles such as concrete trucks and a backhoe as well as other equipment and tools typically used on construction sites. Construction of the project will create short-term noise impacts. However, the development will be required to comply with the City Noise Ordinance (Chapter 8.40 Noise Control), which restricts the hours of construction to reduce impacts to the area. No other significant impacts are anticipated after construction due to the nature of the use, which is compatible with the character of the area.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------	--------------------------------------------------------	------------------------------	-----------

Additional amenities and new parking areas, which may generate noise, will be introduced to the site. Proposed amenities such as the skate park, bocce ball courts, picnic tables, etc. are proposed to be located within the center of the park between the existing tennis courts, basketball courts, and community center. These amenities will be a minimum of approximately 500 ft. away from the nearest residence. Other amenities such as the multi-purpose fields and practice soccer fields are approximately 115 ft. away from the nearest residence. Uses within these fields will consist of games and practice. Noise from the proposed fields may occur but will be intermittent and not sustained over long periods of time. These sounds may include but are not limited to cheering and whistling. New parking areas will be provided along Stilwell Drive, Atlanta Street, and Hamilton Avenue street frontages. The existing parking lot at the northeast corner of the site will be relocated 70 ft. to the north bringing the parking spaces closer to the existing residences north of Stilwell Dr. These residential units, however, will still be buffered from the parking spaces by Stilwell Dr., which is approximately, 54 ft. wide and an approximately 40 ft. landscaped planter along the park's northern property line. While the proposed park reconfiguration introduces new amenities to the site, noise generated from the proposed amenities will not exceed noise levels generated by existing amenities at the site. In addition, the proposed amenities are provided with adequate separation from existing residential uses. Less than significant impacts would occur.

- b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?
 (Sources: # 1 & 4)

Discussion:

Although there may be some temporary groundbourne vibration or groundbourne noise levels due to construction activities, these would occur infrequently and would be short-term. In addition, the proposed reconfiguration on the project site would not result in the generation of significant groundbourne vibration or groundbourne noise during long-term operation. Implementation of the proposed project would not result in the exposure of people to or the generation of excessive groundbourne vibration or groundbourne noise levels. Less than significant impacts are anticipated.

- c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? (Sources: 1 & 4)

Discussion:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The project will introduce new amenities that may generate noise. However due to the location and nature of use any noise generated by the project will not result in a permanent increase in ambient noise levels above levels existing without the project. No impacts would occur.

- d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? (Sources: #1 & 4)

Discussion:

The project is anticipated to generate short-term noise impacts during construction. Based on the proposed phased construction schedule and applicable City codes, less than significant impacts are anticipated. No other noise impacts are expected after construction due to the nature of the project.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------	--------------------------------------------------------	------------------------------	-----------

- e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? (Sources: #11)
-

Discussion:

See discussion under item f.

- f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? (Sources: #11)
-

Discussion e & f:

Edison Park is not within the vicinity of a private airstrip and the project does not propose new structures expansion of the park that would expose people to excessive noise levels. The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park; implementation of the proposed project will not change existing conditions as they pertain to noise impacts from flight activity. No impacts would occur.

XI. PUBLIC SERVICES. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

- a) Fire protection? (Sources: #1 & 4)
-

Discussion:

See discussion under item e.

- b) Police Protection? (Sources: #1 & 4)
-

Discussion:

See discussion under item e.

- c) Schools? (Sources: #1 & 4)
-

Discussion:

See discussion under item e.

- d) Parks? (Sources: #1 & 4)
-

Discussion:

See discussion under item e.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Other public facilities or governmental services? (Sources: #1 & 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion a – e:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. Existing park facilities will be temporarily impacted during construction from construction noise and closure. Less than significant impacts would occur.

XII. UTILITIES AND SERVICE SYSTEMS. Would the project:

a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? (Sources: #1, 3 & 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-----------------------------------------------------------------------------------------------------------------------------	--------------------------	--------------------------	--------------------------	-------------------------------------

Discussion:

See discussion under item e.

b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? (Sources: #1, 3 & 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	--------------------------	--------------------------	-------------------------------------

Discussion:

See discussion under item e.

c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? (Sources: #1, 3 & 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	--------------------------	--------------------------	-------------------------------------

Discussion:

See discussion under item e.

d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? (Sources: #1, 3 & 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	--------------------------	--------------------------	-------------------------------------

Discussion:

See discussion under item e.

e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? (Sources: #1, 3 & 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	--------------------------	--------------------------	-------------------------------------

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

Discussion a – e:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The site is currently irrigated and will not require additional irrigation. Furthermore, no new uses or structures are proposed that would generate additional wastewater beyond the current conditions necessitating expansion or construction of new wastewater treatment facilities. In addition, the project will not result in the creation of new storm water drainage facilities nor will it create a demand for water usage beyond that which currently exists for the project area. No impacts would occur.

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| f) Be served by a landfill with sufficient permitted capacity to accommodate the project’s solid waste disposal needs? (Sources: #1, 3, 4 & 9) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

See discussion under item g.

- | | | | | |
|-------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| g) Comply with federal, state, and local statutes and regulations related to solid waste? (Sources: #1, 3, 4 & 9) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|-------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion f & g:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park and does not propose new structures or uses that would generate additional solid waste. Furthermore, the nearest landfill is the Frank R. Bowerman Landfill located in the City of Irvine. The landfill has a remaining capacity in excess of 30 years based on the present solid waste generation rates. The project will not noticeably impact the capacity of the existing landfill as a result of construction or operations. Less than significant impacts are anticipated.

- | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| h) Include a new or retrofitted storm water treatment control Best Management Practice (BMP), (e.g. water quality treatment basin, constructed treatment wetlands?) (Sources: #1, 3, 4 & 9) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

See discussion under item e.

XIII. AESTHETICS. Would the project:

- | | | | | |
|-------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have a substantial adverse effect on a scenic vista? (Sources: #1, 3, & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The proposed project site is not situated adjacent to or in the vicinity of any scenic vista designated by the City or the State. As a result, no impacts are expected.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------	--------------------------------------------------------	------------------------------	-----------

- | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? (Sources: #1, 3, & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The State of California Department of Transportation designates scenic highway corridors. The project site is not within a state scenic highway; nor is the project site visible from any (officially designated or eligible) scenic highway. In addition, the site does not contain rock outcroppings or historic buildings. No impacts are anticipated.

- | | | | | |
|---------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| c) Substantially degrade the existing visual character or quality of the site and its surroundings? (Sources: #1, 3, & 4) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion c:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. 206 trees will be impacted by the construction of the proposed project. Of the impacted trees 0 are proposed to remain, 5 are proposed to be relocated, and 201 are proposed to be removed. The trees to be removed are ornamental and will be replaced with similar landscaping. Pursuant to a recommended mitigation measure, the trees to be relocated shall adhere to proper translocation procedures to be approved by the Public Works Department. The work will be performed by a qualified tree service to be approved by the City of Huntington Beach Public Works Department and any tree that does not survive after four years shall be replaced with the same type and size of tree. Furthermore, new landscape and hardscape features are proposed to enhance the existing park amenities including replacing the removed trees on a 2:1 basis. Implementation of the recommendations in the Report would reduce the potentially significant impact to the visual character of the site to a less than significant level.

- | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? (Sources: #3, &4) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|-----------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The existing baseball diamonds are currently lighted. In addition, approximately six new sport lights will be constructed in conjunction with the practice fields. Security lighting will also be provided for the new parking lot. Implementation of the proposed project would result in additional nighttime lighting and the potential for glare from the light standards and parking lot. The location of the new light standards is a minimum of 160 ft. away from the nearest residential uses. The project will be subject to a standard condition of approval that requires lighting to be shielded and directed so as to prevent glare and spillage onto adjacent properties. With the condition of approval in place, less than significant impacts are anticipated

XIV. CULTURAL RESOURCES. Would the project:

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5? (Sources: #1 & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

Discussion:

The project site does not contain any historic structures and is not located within any of the City's historic districts. No historical resources will be impacted by construction of the project.

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?
(Sources: #1 & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The project site is not located in an identified archaeological site; therefore, no impacts are anticipated.

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Directly or indirectly destroy a unique paleontological resource or site unique geologic feature? (Sources: #1 & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The project site is not designated as having any paleontological resources and does not contain any unique geologic features. No impacts are anticipated.

- | | | | | |
|---------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Disturb any human remains, including those interred outside of formal cemeteries? (Sources: # 1 & 4) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion a – d:

The project site is not expected to result in the disturbance of human remains. No impacts are anticipated.

XV. RECREATION. Would the project:

- | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Would the project increase the use of existing neighborhood, community and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? (Sources: #3, &4) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

The proposed project does not involve the creation of new homes or businesses that would increase the use of existing parks and recreational facilities. The project proposes to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The proposed improvements will enhance an existing community park located within the City. New amenities including a parking lot, fitness stations, and multi-purposes fields are anticipated to draw on existing users of the site. Nevertheless, the proposed improvements may attract new users to the park but not such that the use of the park would significantly increase causing substantial physical deterioration of the site. Less than significant impacts would occur.

- | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? (Sources: #1, 3, & 4) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Potentially Significant Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------------------------------------	-----------

Discussion:

The project proposes to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The proposed project involves the removal of existing trees which necessitates Mitigation Measure BIO – 1.

- | | | | | |
|-------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Affect existing recreational opportunities? (Sources: # 3, &4) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|-------------------------------------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion:

The proposed project involves a master plan to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The project proposes to reconfigure existing open space areas, add recreational amenities, install new parking spaces, and install decorative hardscape improvements within Edison Park. The proposed improvements will enhance an existing community park located within the City; however, existing park facilities will be temporarily impacted during construction. No new structures are proposed to be constructed. The existing open areas are currently utilized by groups and teams for informal practice. These areas will be utilized in a similar fashion but will consist of formal programs for practices. Less than significant impacts would occur.

XVI. AGRICULTURE RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project:

- | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? (Sources: #9) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The project site does not serve as farmland and does not contain any farming operations. Development of this project will not result in the conversion of any farmland.

- | | | | | |
|--------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? (Sources: #1 & 9) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

The subject site is presently zoned OS-PR (Open Space – Park and Recreation Subdistrict) which does not permit agricultural uses. In addition, the project site is not under a Williamson Act contract. Development of the site will not conflict with agricultural uses or zoning.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use? (Sources: #9)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

The project does not propose any changes in the environment beyond the proposed project area. Additionally, the project does not propose any changes to existing land uses and would not result in conversion of or impacts to farmland/agricultural uses as there are none within the vicinity of the project site. No impacts would occur.

XVII. MANDATORY FINDINGS OF SIGNIFICANCE.

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? (Sources: #1-22)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	-------------------------------------	--------------------------	--------------------------

Discussion:

The project site is currently developed as community park. It is not located within any wildlife or biological resource area and therefore will not impact any fish, wildlife, or plant community. The site does not contain any historic resources.

As discussed above in section VII. Biological Resources, the proposed project site has no native habitat on site, and is not suitable habitat for sensitive mammal, reptile, amphibian, or fish species. In addition, no riparian habitat or other sensitive natural community or wetlands exists on the proposed project site. It is unlikely that any substantial wildlife movement would occur through the proposed project site, as the site is mostly developed as a park. However, implementation of the proposed project would result in the removal of 201 mature trees from the project site and relocation of 5 mature trees onsite. As a result, the project has the potential to significantly impact the existing mature trees onsite. Mitigation measures relative to the relocation and removal of the mature trees shall be implemented to reduce potential impacts to a less than significant level.

As discussed above in section XIV. Cultural Resources, the project site does not contain any historically aged structures or any unique archeological or paleontological resources.

b) Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.) (Sources: #1-22)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	--------------------------	-------------------------------------	--------------------------

Discussion:

As discussed above in Sections I to XVI, the project with implementation of standard code requirements and mitigation measures is anticipated to have less than significant impacts due to the small scale of the project and

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
----------------------------------------------	--------------------------------------	--------------------------------------------------------------------	------------------------------------	-----------

would not result in any cumulatively considerable impacts.

- | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|
| c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? (Sources: #1-22) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion:

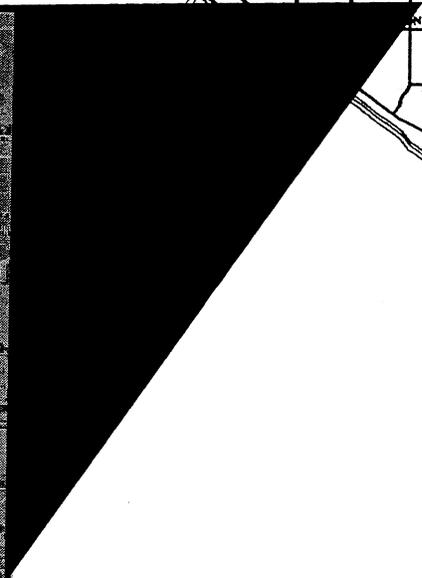
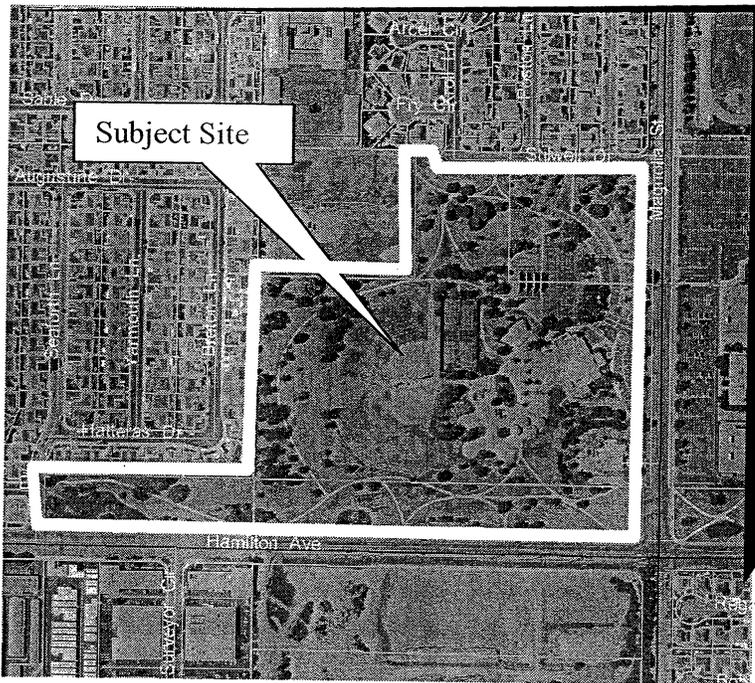
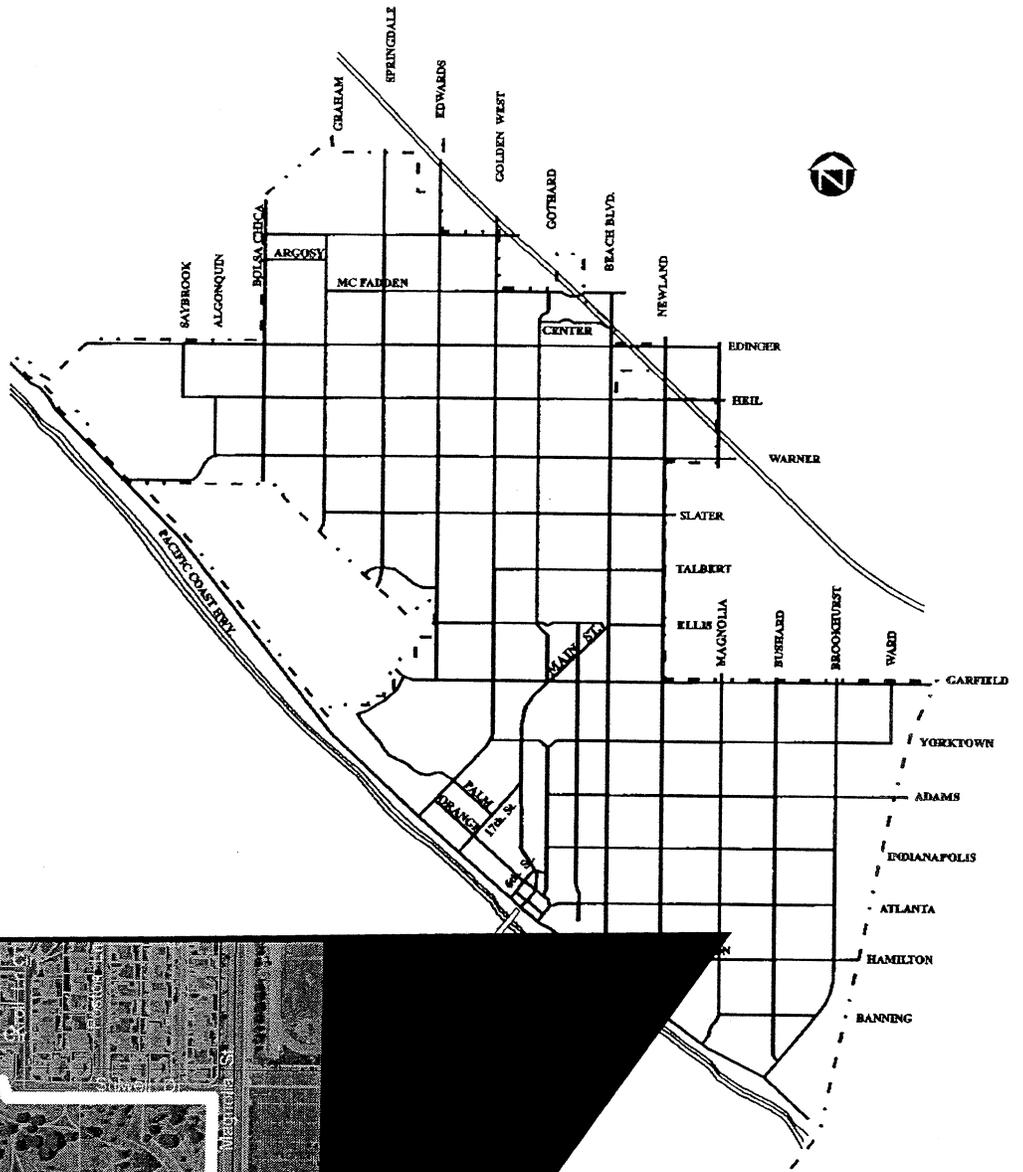
As discussed above in Sections XIII. Aesthetics, implementation of the proposed project would result in the removal of 201 mature trees from the project site and relocation of 5 mature trees onsite. As a result, the project has the potential to significantly impact the visual character and quality of the site and its surroundings. Standard conditions of approval and mitigation measures relative to the relocation and replacement of the mature trees shall be implemented in order to reduce potential impacts to a less than significant level. In addition the project will result in less than significant impacts to noise levels due to the introduction of new amenities to the park. The location of the amenities and nature of the uses is not expected to increase ambient noise levels in the project vicinity above levels existing without the project.

XVIII. EARLIER ANALYSIS.

Earlier analyses may be used where, pursuant to tiering, program EIR, or other CEQA process, one or more effects have been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c)(3)(D).

Earlier Documents Prepared and Utilized in this Analysis:

<u>Reference #</u>	<u>Document Title</u>	<u>Available for Review at:</u>
1	City of Huntington Beach General Plan	City of Huntington Beach Planning Dept., Planning/Zoning Information Counter, 3 rd Floor 2000 Main St. Huntington Beach
2	City of Huntington Beach Zoning and Subdivision Ordinance	“
3	Project Vicinity Map	See Attachment #1
4	Narrative dated February 4, 2009	See Attachment #2
5	Site plan received February 4, 2008	See Attachment #3
6	City of Huntington Beach Geotechnical Inputs Report	City of Huntington Beach Planning Dept., Planning/Zoning Information Counter, 3 rd Floor 2000 Main St. Huntington Beach
7	FEMA Flood Insurance Rate Map (October 21, 2004 & April 13, 2005)	“
8	CEQA Air Quality Handbook South Coast Air Quality Management District (1993)	“
9	City of Huntington Beach CEQA Procedure Handbook	“
10	Trip Generation Handbook, 7 th Edition, Institute of Traffic Engineers	“
11	Airport Environs Land Use Plan for Joint Forces Training Base Los Alamitos (Oct. 17, 2002)	“
12	Hazardous Waste and Substances Sites List	“
13	State Seismic Hazard Zones Map	“
14	City of Huntington Beach Municipal Code	“
15	Summary of Mitigation Measures	See Attachment #4
16	Code Requirements Letter	See Attachment #5



VICINITY MAP
ENVIRONMENTAL ASSESSMENT NO. 2008-001/
CONDITIONAL USE PERMIT NO. 2008-04
(21372 Magnolia Street)

EDISON COMMUNITY PARK RECONFIGURATION

PROJECT NARRATIVE

Project Intent – Reconfiguration of the open space areas of Edison Community Park to better accommodate youth sports activities in the south part of the city.

Project Location

Edison Community Park is a forty acre site, bordered by Magnolia Avenue to the east, Hamilton Avenue to the south, Newland Street to the west and Atlanta Avenue to the north. Surrounding properties include residential developments to the west and north, Edison High School to the east and the ASCON site and commercial/light industrial to the south.

Existing Site Conditions

The existing site includes a 17,000 square foot community center building, public parking, outdoor basketball, racquetball and tennis courts; picnic shelter, tot lot playground, two lighted ball fields and one lighted open practice field. Remaining portions of the park include developed turf areas and walkways. Additionally the southern portion of the park includes a ten-acre easement from Southern California Edison (SCE) which includes transmission towers but is developed with turf, landscaping and walkways that serves as part of the overall park.

Proposed Project

The proposed reconfiguration project includes creating four lighted practice fields; one competition sized multi-purpose field, a nine-station fitness course, two bocce ball courts, a pick up/drop off area for the picnic shelter and additional public parking.

To maximize use of the park for youth sports activity some of the existing walkways will be reconfigured and some of the sports light poles will be relocated to create more unrestricted open space to allow room for additional practice fields. Proposed modifications however, will not impact other park amenities such as the tot lot and family picnic area.

The proposed project also includes an area for a skate park that will be developed either as a part of the current reconfiguration project or at a later date, depending upon available funding.

CITY OF HUNTINGTON BEACH DEPARTMENT OF PUBLIC WORKS EDISON COMMUNITY CENTER AND YOUTH SPORTS COMPLEX

CONDITIONAL USE PERMIT No. 00 - --- VARIANCE NO. 00 - ---

GENERAL NOTES:

1. All work shall be completed in accordance with the City of Huntington Beach Standard Plans, specifications, requirements, and Contract Documents. Contractor shall keep a copy of all information on the job site.
2. A pre-construction meeting shall be held a minimum of forty (40) hours prior to commencing work.
3. Contractor shall notify the City of Huntington Beach construction inspector of activities of construction and forty (40) hours prior to commencing work.
4. Project stoppage refers to the corners of streets.
5. Stack, utility or removal methods will be allowed in or around the project site as approved by the construction manager.
6. Plans were designed by referring:
 - A. Survey/topography plans prepared by IKE
 - B. Grading plans prepared by IKE
 - C. Geotechnical soil report prepared by N/A
 - D. Agricultural suitability report prepared by N/A
7. As requested by the City, all work shall be completed with the City Engineer and to determine if the work is being performed in a manner indicating that the documents completed will be in substantial conformance with the Construction Documents.
8. NUIS and the consultant team are not responsible for construction means, methods, techniques, sequence or procedure, or for safety precautions and programs in connection with the construction of the project. The City Engineer shall be responsible for the Contractor's failure to carry out the work in accordance with the construction contract documents, nor responsible for acts or omissions of the Contractor, its agents, or their agents or employees, or of any other persons performing portions of the work.
9. In the event City consents to, allows, authorizes or approves of changes to any plans, drawings, or specifications, the Contractor shall be responsible for any and all costs of such changes.
10. Contractor shall supply all the work materials, labor, and equipment for the construction means, methods, techniques, sequence, and procedures, and for maintaining all portions of the project.
11. Contractor shall be responsible for initiating, maintaining, and supervising all safety precautions and programs in connection with the performance of the construction contract.
12. The existence and location of any underground utilities shown on the plans were obtained from available records at the time the plans were drawn and do not constitute a representation as to the accuracy of such information. Contractor shall contact Underground Services Alert at 1-800-425-4133 prior to performing any construction work.
13. Contractor shall be responsible for compliance with SDQM/Rule 402 - "Fugitive Dust". Strict adherence will be enforced.
14. Contractor shall install steel dust shakers/rocks at all entry/exit locations and properly maintain the effectiveness of such devices throughout the duration of construction.
15. All grading activity shall cease during periods when winds exceed 25 mph.
16. Contractor shall maintain all construction equipment in peak operating condition so as to reduce operation emissions.
17. Contractor shall use low-sulfur diesel fuel in all equipment.

BENCHMARK: SEE SHEET ---
 18. Prior to the commencement of work, Contractor shall prepare for City approval an erosion control plan to prevent erosion and sedimentation. The plan shall include potential impacts related to potential hazardous materials release during the course of work.

Underground Service Alert
 CALL TOLL FREE
 1-800-425-4133
 TWO WORKING DAYS BEFORE YOU DIG

REV. DATE	BY	DESCRIPTION

REVISIONS

NO.	DATE	BY	DESCRIPTION

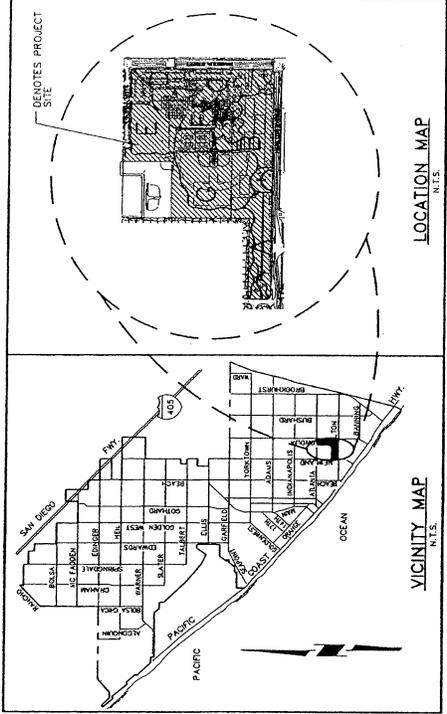
NEW YORKS
 NEW YORKS
 100 WALL STREET
 NEW YORK, NY 10038
 212-512-2000
 FAX: 212-512-2001
 E-MAIL: NEWYORKS@NEWYORKS.COM
 WWW: WWW.NEWYORKS.COM

PREPARED UNDER THE SUPERVISION OF
 ROBERT E. GORDON
 P.L.A. NO. 1999
 APPROVED BY:
 SHEILA L. DAVIS, CITY MANAGER
 P.L.A. NO. 1999

CITY OF HUNTINGTON BEACH
 DEPARTMENT OF PUBLIC WORKS

COVER SHEET
EDISON COMMUNITY CENTER & YOUTH SPORTS COMPLEX
 DESIGN DEVELOPMENT

SHEET: L1
 OF 55



41. Areas shall be maintained in such a state that this access shall be maintained at all times (including access to neighboring properties).
42. No obstruction or disturbance of natural drainage courses or existing storm drains shall be allowed during the construction process, unless adequate temporary/drainage control measures are in place to prevent such obstructions to carry surface water to the nearest practical street, storm drain or natural water course.
43. All activities shall be conducted in such a manner that steam runoff will be contained within the project or adjacent lots and shall not be allowed to flow onto the street.
44. Contractor from his responsibilities to the site and adjacent properties shall include, but not be limited to, conducting a thorough inspection of the site and adjacent properties to determine the result of the construction of this project.
45. Slopes constructed prior to October 1 shall be treated for erosion control prior to the construction of slope programs. Slopes shall be treated for erosion control with a minimum of 25 feet of face treatment.

46. Erosion control measures shall be required to prevent silt from being carried one greater prior to grading operation, and that are subject to runoff during the rainy season. These measures may include, but not be limited to, silt fences, straw bales, and other measures to be used to prevent erosion beyond the limits of grading. All work shall be done in accordance with Best Management Practices.

47. City approval of plans does not relieve the Contractor from responsibility for the safety of the work. The Contractor shall be responsible for obtaining all necessary permits and approvals from the City Engineer for approval of plans and for the safety of the work.

48. Contractor shall be responsible for removing temporary construction fence and all materials and debris from the project site at the end of each work day.

49. Contractor shall provide a minimum of 24-hour notice to the City Engineer of any work to be performed on the project site.

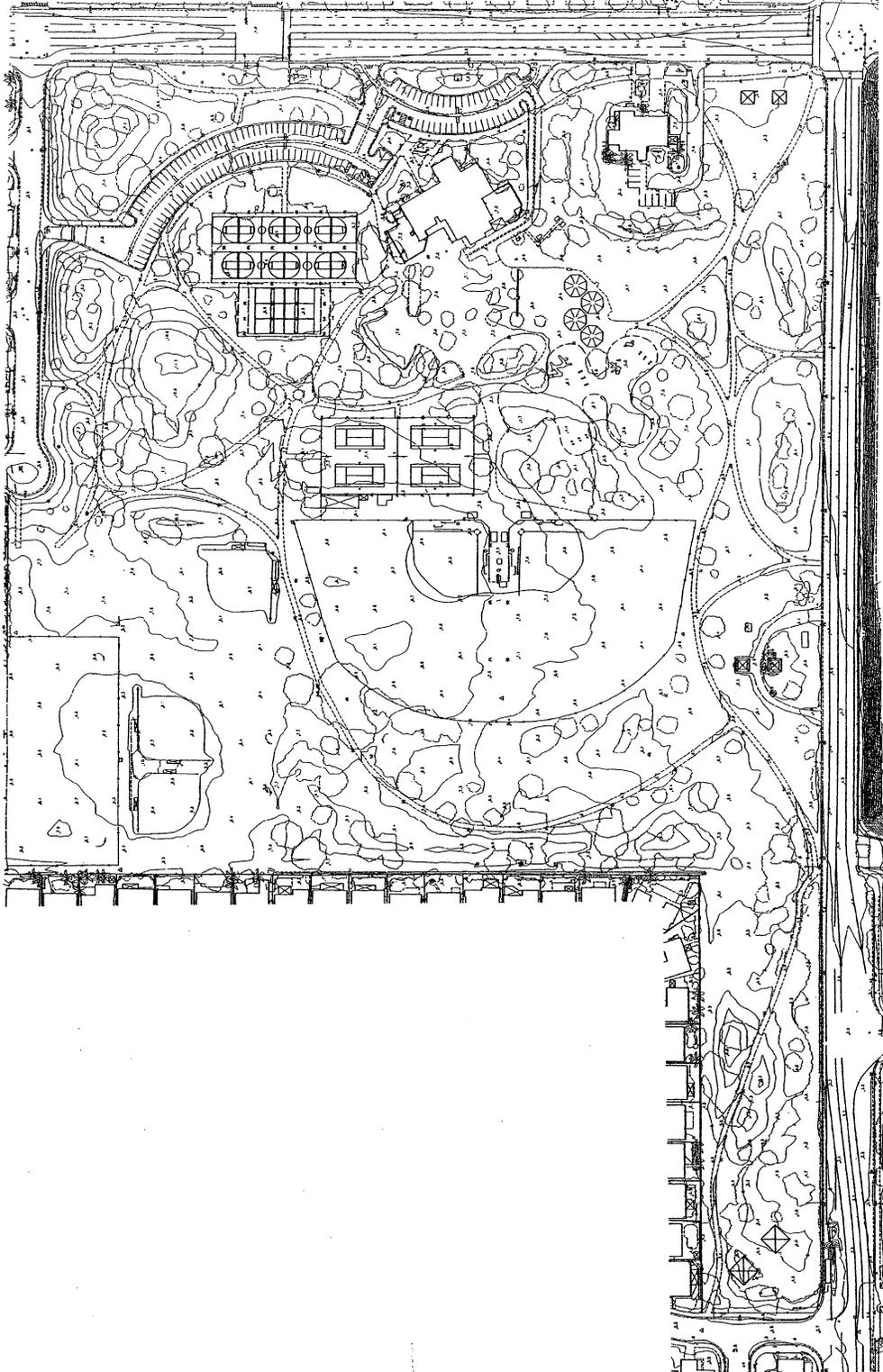
HB CSD Work UP LIL 03 P-1 EDISON Park Bldg 15

12/20/07 16:39

ATTACHMENT NO. 3

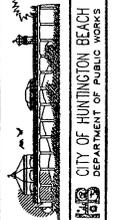
02-04-06
REV'D

Magnolia



NOTES:
1. SURVEY PROVIDED BY ME OCTOBER 2007

SHEET: L3
OF 3
REFERENCE SHEET
**EDISON COMMUNITY CENTER
& YOUTH SPORTS COMPLEX**
DESIGN DEVELOPMENT



PREPARED UNDER THE SUPERVISION OF:
PHILIP T. GIBSON, P.E.
DATE: 10/2007
APPROVED BY:
SHARLE L. DAVIS, CITY LANDSCAPE ARCHITECT/ARTIST
S.F.A. NO. 1052 EXP. DATE 06-30-08

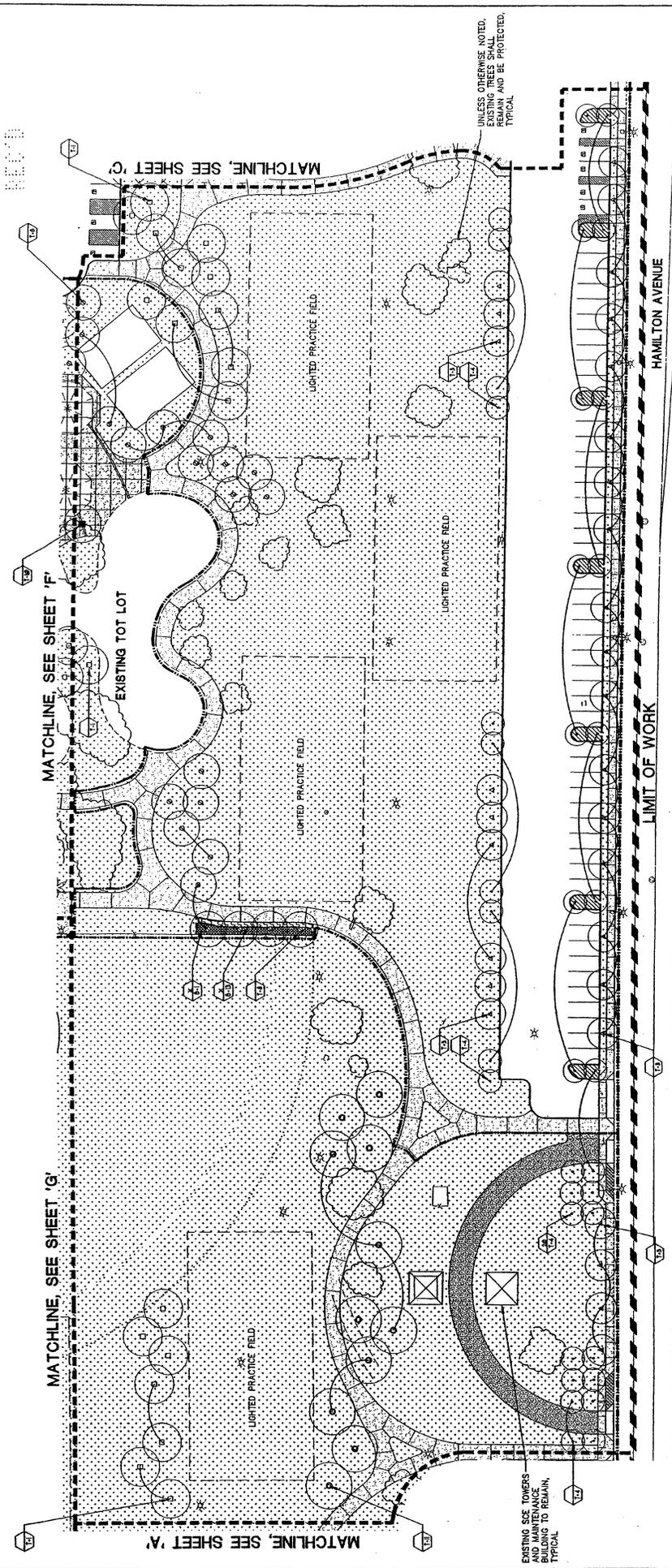
N DAVIS
LANDSCAPE ARCHITECTURE
11111111111111111111
DESIGNED BY: [Signature]
CHECKED BY: [Signature]

REV.	DATE	BY	DESCRIPTION	DATE

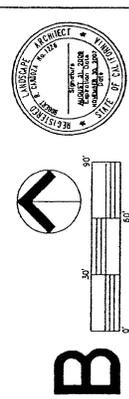
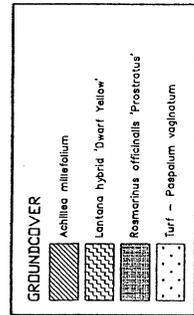
Underground Service Alert
CALIF. TOLL FREE
1-800-422-4033
TWO WORKING DAYS BEFORE YOU DIG

Handwritten signature

02-04-00
REV'D

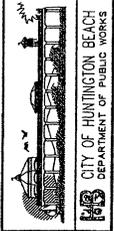


NOTE
1. REFER TO SHEET L37 & L38 FOR PLANT LIST, NOTES AND DETAILS.
2. REFER TO SHEET L39 FOR TREE SPACING & SIZE OF GROUNDCOVER



B

SHEET: L31
OF 39
PLANTING PLAN
EDISON COMMUNITY CENTER & YOUTH SPORTS COMPLEX
DESIGN DEVELOPMENT



PREPARED UNDER THE SUPERVISION OF:
ROBERT K. GARDNER
R.E. NO. 11281
DATE: 02/11/00
CIP. DATE: 02/11/00
APPROVED BY:
DANIEL L. GIVR, CITY LANDSCAPE ARCHITECT/RAE
R.E. NO. 11281
DATE: 02/11/00

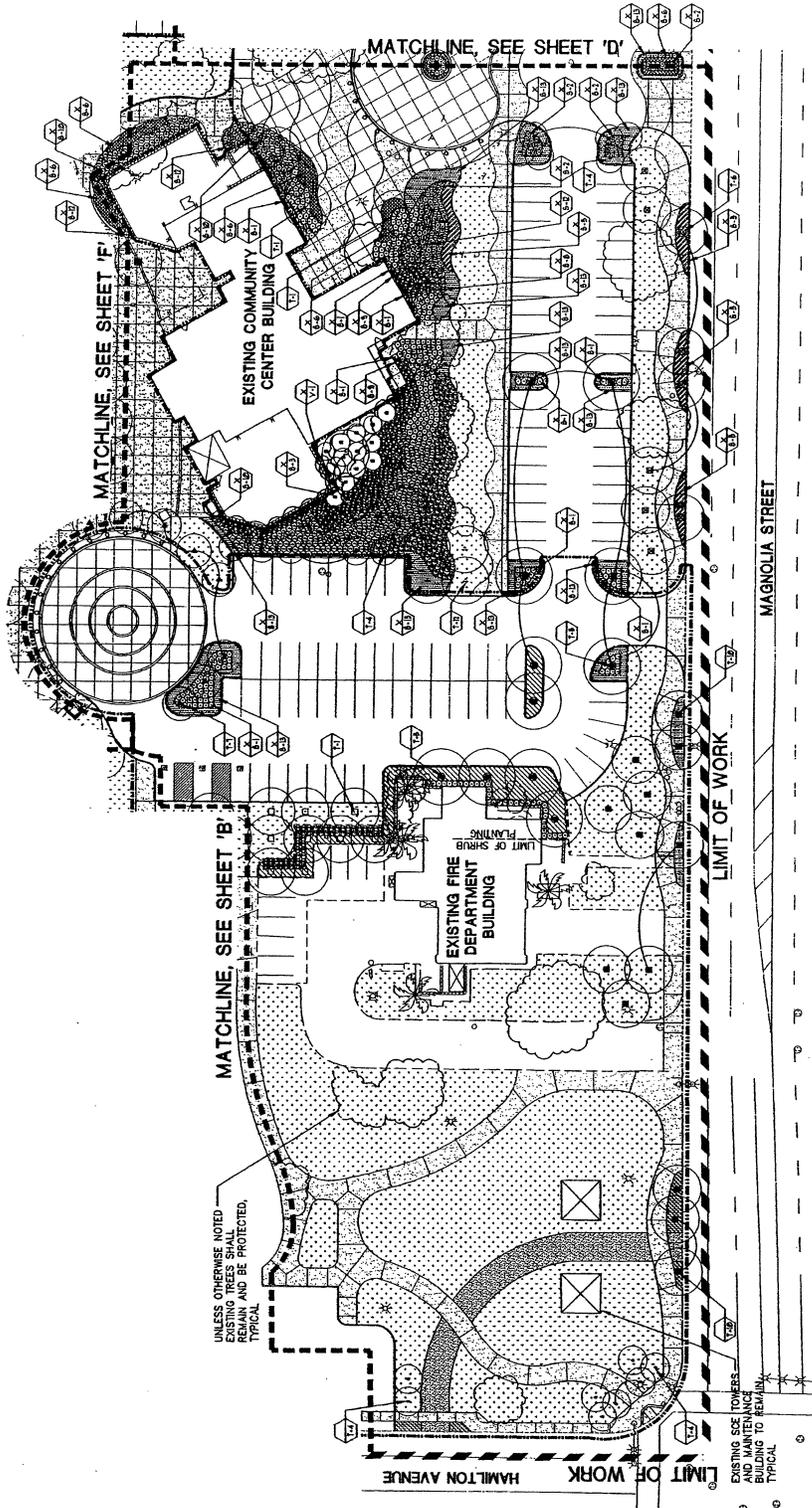
NOVITS
LANDSCAPE ARCHITECTS
11111 1/2
DANIEL L. GIVR, P.E.
CIP. DATE: 02/11/00

REVISIONS

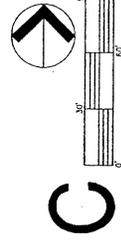
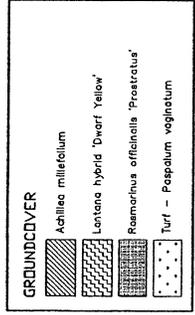
REV. DATE	BY	DESCRIPTION

Underground Service Alert
Call TOLL FREE
1-800-422-4133
NO WORKING DAYS BEFORE YOU DIG

02-04-00
REV'D

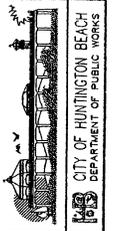


NOTE
 1. REFER TO SHEET L37 & L38 FOR PLANT LIST, NOTES, AND DETAILS.
 2. SEE SCHEDULE FOR TREE SPACING & SIZE OF GROUNDCOVER.



PLANTING PLAN
EDISON COMMUNITY CENTER & YOUTH SPORTS COMPLEX
 DESIGN DEVELOPMENT

SHEET: **L32**
 OF **40**
 OF **55**



PREPARED UNDER THE SUPERVISION OF:
 ROBERT E. GORDON, A.L.A. NO. 1281, EXP. DATE 06-15-18
 APPROVED BY:
 DENISE L. DAVIS, CITY MANAGER, A.L.A. NO. 1481, EXP. DATE 06-28-18

NOVIS
 THE PLANNING
 CONSULTANTS
 11111 JEFFERSON
 SUITE 200
 JEFFERSON, CA 92628
 PHONE: 714.771.1111
 FAX: 714.771.1112
 WWW.NOVISINC.COM

REV. DATE	BY	DESCRIPTION

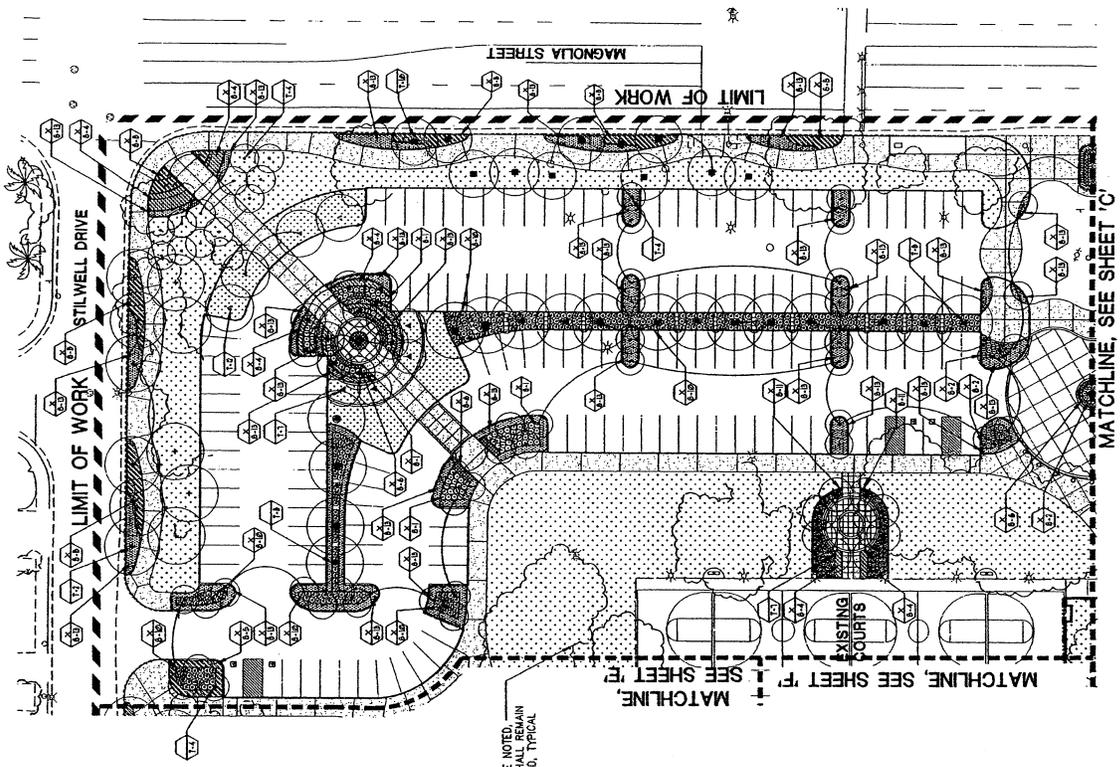
REV. DATE	BY	DESCRIPTION

REV. DATE	BY	DESCRIPTION

REV. DATE	BY	DESCRIPTION

Underground Service Alert
 Call TOLL FREE
 1-800-422-4133
 THE WORKING DAYS BEFORE YOU DIG

000400
REV'D



UNLESS OTHERWISE NOTED,
EXISTING TREES SHALL REMAIN
AND BE PROTECTED, TYPICAL

GROUNDCOVER

- Achillea millefolium
- Lantana hybrid 'Dwarf Yellow'
- Roemerianus officinalis 'Prostratus'
- Turf - Paspalum vaginatum

NOTE

1. REFER TO SHEET L37 & L38 FOR PLANT LIST, NOTES AND DETAILS.
2. REFER TO SHEET L37 FOR SPACING & SIZE OF GROUNDCOVER.

D



PLANTING PLAN
**EDISON COMMUNITY CENTER
& YOUTH SPORTS COMPLEX**
DESIGN DEVELOPMENT

SHEET: L33
41
OF
55



FORWARDED UNDER THE SUPERVISION OF:

PROJECT NUMBER	DATE
PLAN NO. / SIZE	EXP. DATE
APPROVED BY:	
SHEET NO. / TOTAL SHEETS	EXP. DATE

REVIS

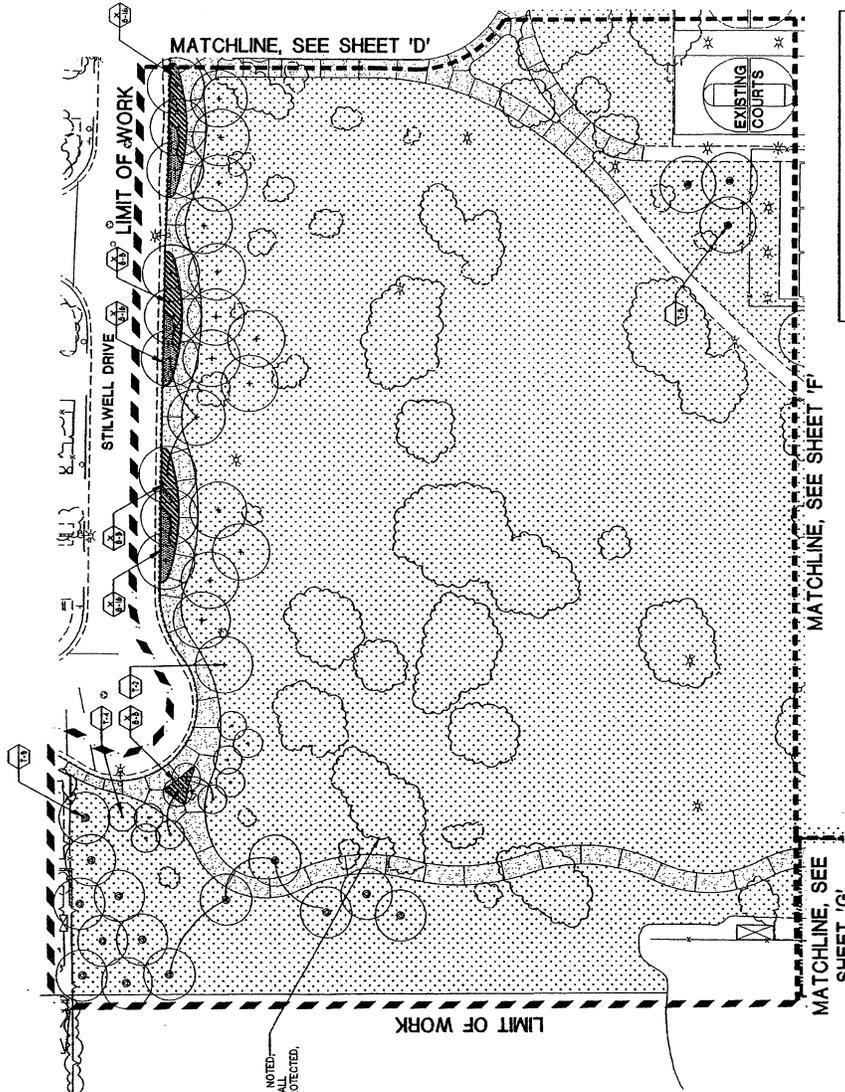
NO.	DATE	BY	DESCRIPTION

REVISIONS

NO.	DATE	BY	DESCRIPTION

Underground Service Alert
CALL TOLL FREE
1-800-422-4333
TWO WORKING DAYS BEFORE YOU DIG

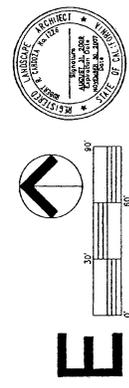
02-04-09
 HEDD



NOTE
 REFER TO SHEET L37 & L38 FOR
 1. PLANT LIST, NOTES, AND DETAILS.
 2. REFER TO SHEET L37 FOR SPACING
 & SIZE OF GROUNDCOVER

GROUNDCOVER

	<i>Achillea millefolium</i>
	<i>Lantana hybrid 'Dwarf Yellow'</i>
	<i>Rhamnus officinalis 'Prostratus'</i>
	Turf - <i>Paspalum vaginatum</i>



PLANTING PLAN
**EDISON COMMUNITY CENTER
 & YOUTH SPORTS COMPLEX**
 DESIGN DEVELOPMENT

SHEET: L34
 42
 OF



PREPARED UNDER THE SUPERVISION OF
 EDWARD H. DAVIS
 CIVIL ENGINEER
 LICENSE NO. 42892
 APPROVED BY:

 DATE: _____

NOVIS
 CONSULTANTS
 10000 WILSON AVENUE
 SUITE 100
 HUNTINGTON BEACH, CA 92646
 PHONE: 714-363-1111
 FAX: 714-363-1112
 WWW:NOVIS.COM

REVISIONS

NO.	DATE	BY	DESCRIPTION

Underground Service Alert
 Call TOLL FREE
 1-800-422-4333
 TWO WORKING DAYS BEFORE YOU DIG

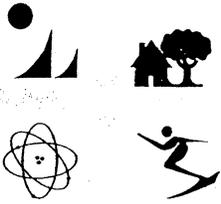
Attachment No. 4

Summary of Mitigation Measures

<u>Description of Impact</u>	<u>Mitigation Measure</u>
<p><u>Biological Resources</u></p> <ul style="list-style-type: none"> ◆ The proposed project would have the potential to significantly impact the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites. ◆ The proposed project would have the potential to significantly impact local policies ordinances protecting biological resources, such as tree preservation policy or ordinance. <hr/> <p><u>Aesthetics</u></p> <ul style="list-style-type: none"> ◆ The proposed project would have the potential to significantly degrade the existing visual character or quality of the site and its surroundings. 	<p>BIO-1: Prior to the onset of ground disturbance activities, the City shall implement the following mitigation measure which entails nesting surveys and avoidance measures for sensitive nesting and MBTA species, and appropriate agency consultation.</p> <p>Nesting habitat for protected or sensitive species:</p> <ol style="list-style-type: none"> 1. Vegetation removal and grading/construction shall occur between September 1 and January 31 whenever feasible. 2. Prior to any grading or vegetation removal between February 15 and August 31, a nesting survey shall be conducted by a qualified biologist of all habitats within 500 feet of the grading/construction area. Surveys shall be conducted no less than 14 days and no more than 30 days prior to commencement of grading/construction activities and surveys will be conducted in accordance with California Department of Fish and Game (CDFG) protocol as applicable. If no active nests are identified on or within 500 feet of the grading/construction site, no further mitigation is necessary. A copy of the pre-grading/construction survey shall be submitted to the City of Huntington Beach and CDFG. If an active nest of a MBTA protected species is identified onsite (per established thresholds), a 250-foot no-work buffer shall be maintained between the nest and grading/construction activity. This buffer can be reduced in consultation with CDFG and/or U.S. Fish and Wildlife Service. 3. Completion of the nesting cycle shall be determined by a qualified ornithologist or biologist. <p>BIO-2: The removal of 201 mature trees has the potential to significantly impact biological resources. To mitigate this potentially significant impact, tree replacement for existing mature trees on-site shall be in accordance with the requirements of Chapter 232—Landscape Improvements of the HBZSO.</p>

BIO-3: For the 5 trees to be relocated, proper translocation procedures are required in order to avoid potentially significant impacts as a result of the relocation. To mitigate this potentially significant impact, the following shall be adhered to:

1. The trees shall be transplanted by a qualified tree service to be approved by the City of Huntington Beach Public Works Department.
2. Prior to translocation of the trees, detailed specifications and procedures for the translocation shall be submitted to the Department of Public Works for review and approval.
3. The relocated trees shall be maintained and guaranteed to be alive and thriving after four years by a qualified tree service or arborist to be approved by the City of Huntington Beach Public Works Department. The trees shall be surveyed every six months for a period of four years as to their viability. The survey shall be submitted to the City Landscape Architect for review. In the event that any tree is not surviving, it shall be replaced with the same type and size of tree.



City of Huntington Beach

2000 MAIN STREET

CALIFORNIA 92648

DEPARTMENT OF PLANNING

May 5, 2008

Vickie Nuse
Community Services Department
City of Huntington Beach
2000 Main Street
Huntington Beach, CA 92648

**SUBJECT: CONDITIONAL USE PERMIT NO. 2008-004 AND DESIGN REVIEW NO. 2008-006 (21372 MAGNOLIA STREET)
PROJECT IMPLEMENTATION CODE REQUIREMENTS**

Dear Ms. Nuse,

In order to assist you with your development proposal, staff has reviewed the project and identified applicable city policies, standard plans, and development and use requirements, excerpted from the City of Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes. This list is intended to help you through the permitting process and various stages of project implementation.

It should be noted that this requirement list is in addition to any "conditions of approval" adopted by the Planning Commission. Please note that if the design of your project or site conditions change, the list may also change.

The attached project implementation code requirements may be appealed to the Planning Commission as a matter separate from the associated entitlement(s) within ten calendar days of the approval of the project pursuant to the Huntington Beach Zoning and Subdivision Ordinance Section 248.24. The appeal fee is \$494.00.

If you would like a clarification of any of these requirements, an explanation of the Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes, or believe some of the items listed do not apply to your project, and/or you would like to discuss them in further detail, please contact me at 714-374-1682 or at rtalleh@surfcity-hb.org and/or the respective source department (contact person below).

Sincerely,

Rami Talleh,
Associate Planner

Enclosure

cc: Gerald Caraig, Building and Safety Department – 714-374-1575
Lee Caldwell, Fire Department – 714-536-5531
Steve Bogart, Public Works – 714-536-1692
Herb Fauland, Principal Planner
Jason Kelley, Planning Department
Project File



HUNTINGTON BEACH FIRE DEPARTMENT

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: FEBRUARY 29, 2008

PROJECT NAME: EDISON PARK MASTER PLAN

ENTITLEMENTS: PA# 2008-0022, CUP# 2008-004, DR# 2008-006

PROJECT LOCATION: 21372 MAGNOLIA STREET, HUNTINGTON BEACH, CA

PLANNER: RAMI TALLEH, ASSOCIATE PLANNER

TELEPHONE/E-MAIL: (714) 374-1682/ rtalleh@surfcity-hb.org

PLAN REVIEWER-FIRE: LEE CALDWELL, FIRE DEVELOPMENT SPECIALIST

TELEPHONE/E-MAIL: (714) 536-5531/ lcaldwell@surfcity-hb.org

PROJECT DESCRIPTION: TO PERMIT IMPROVEMENTS TO EDISON COMMUNITY PARK CONSISTING OF THE INSTALLATION OF PARKING FACILITIES AND HARDSCAPE AND LANDSCAPE IMPROVEMENTS.

The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated February 15, 2008. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. If you have any questions regarding these requirements, please contact the Plan Reviewer- Fire: LEE CALDWELL, FIRE DEVELOPMENT SPECIALIST.

NOTE: Two abandoned oil wells are located on the proposed construction property. (See attachment)

Methane Mitigation District Requirements. The proposed construction is within the City of Huntington Beach Methane Mitigation District.

The following City Specifications are applicable and compliance needs to be referenced in the grading, building, and methane plans:

- City Specification # 422, Oil Well Abandonment Permit Process.
- City Specification # 429, Methane District Building Permit Requirements.
- City Specification # 431-92 Soil Clean-Up Standards.

THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. **DOGGR "CONSTRUCTION SITE REVIEW" is required.** A California Division of Oil, Gas & Geothermal Resources (DOGGR – 714-816-6847), *Site Plan Review* is required for this project.

Identify the well name and well API number. Show the location of the abandoned oil well in question. Accurately locate with "x" and "y" parameters delineated. A completed DOGGR *Site Plan Review* must be on-file with the Fire Department prior to plan approval.

Wells identified in the Site Review not meeting current DOGGR requirements may require re-abandonment. If required, the following permits shall be obtained and submitted:

- From the Division of Oil, Gas & Geothermal Resources (DOGGR – (714) 816-6847), provide a *Permit to Conduct Well Operations* for all on-site active/abandoned oil wells.
- Obtain a Huntington Beach Fire Department *Permit to Abandon Oil Well* and follow the requirements of *City Specification #422, Oil Well Abandonment Permit Process*. Reference compliance with *City Specification #422, Oil Well Abandonment Permit Process* in the plan notes.

DEPENDING ON THE LOCATION OF THE ABANDONED WELL(S) TO THE PROPOSED CONSTRUCTION, THE FOLLOWING CONDITIONS MAY BE REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT:

2. **"OIL WELL HISTORY DISPOSITION REPORT" is required.** A California licensed third-party petroleum engineer or geologist compiles a disposition report for submittal to the Fire Department – Development Section. (see *City Specification # 429, section 3.2*)
3. **"CITY CONSULTANT - OIL WELL HISTORY REVIEW" is required.** The city consultant reviews the submitted *OIL WELL HISTORY DISPOSITION REPORT* for completeness, well integrity, and recommended safety measures. (see *City Specification # 429, section 3.3*)
4. **"SOIL TESTING"**. Based on site characteristics, suspected soil contamination, proximity to a producing or abandoned oil well, Phase I, II, or III Site Audit, soil testing is required. Soil testing plan must be approved by the Fire Department. (See *City Specification # 429, section 3.4* and *City Specification #431-92 Soil Clean-Up Standards*).
5. **"REMEDIATION ACTION PLAN"** If contamination is identified, provide a Fire Department approved Remediation Action Plan (RAP) based on requirements found in Huntington Beach *City Specification #431-92, Soil Cleanup Standard*. Upon remediation action plan approval, a rough grading permit may be issued.

6. **"METHANE SAFETY MEASURES"**. *City Specification # 429, Methane District Building Permit Requirements.*

Methane safety measures shall be detailed on a separate sheet titled "METHANE PLAN" and three copies submitted to the Fire Department Development Section for approval.

Requirements include:

- **Abandoned Well Gas Test.**
- **Well Vent System.**
- **Sub-Grade Collection System.**
- **Methane Barrier and Sub-Slab Collection System.**

Reference compliance with *City Specification #429* in the plan notes.

Discovery of additional soil contamination or underground pipelines, etc., must be reported to the Fire Department immediately and the approved work plan modified accordingly. Reference that all soils shall be in compliance with *City Specification #431-92 Soil Clean-Up Standards*, in the plan notes.

DESIGN REQUIREMENTS

- a. **Fire Access Roads** shall be provided and maintained in compliance with City Specification # 401, *Minimum Standards for Fire Apparatus Access*. Driving area shall be capable of supporting a fire apparatus (75,000 lbs and 12,000 lb point load). Minimum fire access road width is twenty-four feet (24') wide, with thirteen feet six inches (13' 6") vertical clearance. Fire access roads fronting commercial buildings shall be a minimum width of twenty-six feet (26') wide, with thirteen feet six inches (13' 6") vertical clearance. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans. **NOTE: Current design appears to meet this requirement. (FD)**
- b. **Fire Access Road Turns and Corners** shall be designed with a minimum inner radius of seventeen feet (17') and a minimum outer radius of forty five feet (45') per City Specification # 401 *Minimum Standards for Fire Apparatus Access*. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans. **NOTE: Current design appears to meet this requirement. (FD)**
- c. **Fire Lanes**, as determined by the Fire Department, shall be posted, marked, and maintained per City Specification #415, *Fire Lanes Signage and Markings on Private, Residential, Commercial and Industrial Properties*. The site plan shall clearly identify all red fire lane curbs, both in location and length of run. The location of fire lane signs shall

be depicted. No parking shall be allowed in the designated 24 foot wide fire apparatus access road or supplemental fire access per City Specification # 415. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans. (FD)

- d. **Secured Vehicle Entries** shall utilize KNOX[®] activated access switches (Knox switches for automated gates, Knox padlocks for manual gates or bollards), and comply with City Specification #403, *Fire Access for Pedestrian or Vehicular Security Gates & Buildings*. Reference compliance in the plan notes. (FD)
- e. **GIS Mapping Information** shall be provided to the Fire Department in compliance with GIS Department CAD Submittal Guideline requirements. Minimum submittals shall include the following:
- Site plot plan showing the building footprint.
 - Specify the type of use for the building
 - Location of electrical, gas, water, sprinkler system shut-offs.
 - Fire Sprinkler Connections (FDC) if any.
 - Knox Access locations for doors, gates, and vehicle access.
 - Street name and address.

Final site plot plan shall be submitted in the following digital format and shall include the following:

- Submittal media shall be via CD rom to the Fire Department.
- Shall be in accordance with County of Orange Ordinance 3809.
- File format shall be in .shp, AutoCAD, AUTOCAD MAP (latest possible release) drawing file - .DWG (preferred) or Drawing Interchange File - .DXF.
- Data should be in NAD83 State Plane, Zone 6, Feet Lambert Conformal Conic Projection.
- Separate drawing file for each individual sheet.
In compliance with Huntington Beach Standard Sheets, drawing names, pen colors, and layering convention. and conform to *City of Huntington Beach Specification # 409 – Street Naming and Addressing*.

For specific GIS technical requirements, contact the Huntington Beach GIS Department at (714) 536- 5531.

For Fire Department approval, reference compliance with *GIS Mapping Information* in the building plan notes. (FD)

COMMENTS

Magnolia Fire Station.

This city-owned facility, located in the southeast corner of Edison Park, houses Huntington Engine 44, which serves the southeast portion of Huntington Beach.

Due to the proximity to Magnolia Street, this station has historically had some noise issues due to the orientation of engineer's sleeping quarters, which receives street noise from passing vehicles and the Edison Park Community Center.

It can be anticipated that the close proximity of the proposed parking adjacent to the north side of the fire station, which the engineer's dorm faces, will receive a notable increase in noise due to the close proximity to the parking lot. This design will result in an increase in traffic, both pedestrian and vehicular around the fire station.

Current plans also place a pedestrian sidewalk adjacent to the fire department facility parking lot on the west side and a portion of a sidewalk adjacent to a portion of the driveway on the south side.

Both of these sidewalks can be expected to result in an increased exposure or access to the fire department parking lot by the public. This parking lot has been the subject of vehicle vandalism in the past and more exposure and closer proximity by the public will do little to correct this issue.

A safety issue that currently exists is the conflict of small children and moving fire apparatus. Due to the area around the fire station being a city park, large groups of people are frequently in the vicinity of the volleyball courts, picnic tables and sunshade area, which is located to the west or rear of the fire station.

Small children do not comprehend the dangers of moving fire apparatus returning to the fire station via the rear parking area and frequently run towards the fire apparatus. Due to the large buffer area that currently exists between the volleyball courts, picnic tables and sunshade area these children can be seen coming. Decreasing this buffer area, by installing the sidewalk adjacent to the fire department parking area increases this danger.

In the interest of safety, noise control, and station security, this project should provide the following:

- A wall on the north side of the fire station. This will segregate the two property uses and block the noise from the new Edison Park vehicle parking lot.
- A wall or fence on the west side of the fire department facility parking lot. This will segregate the fire department parking lot use from the park use.
- An automated vehicle gate for the driveway that accesses the rear area of the fire station.
(FD)

THE FOLLOWING CONDITIONS SHALL BE MAINTAINED DURING CONSTRUCTION:

- a. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with HBFC Chapter 14, Fire Safety During Construction And Demolition. **(FD)**
- b. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with City Specification #426, Fire Safety Requirements for Construction Sites. **(FD)**

OTHER:

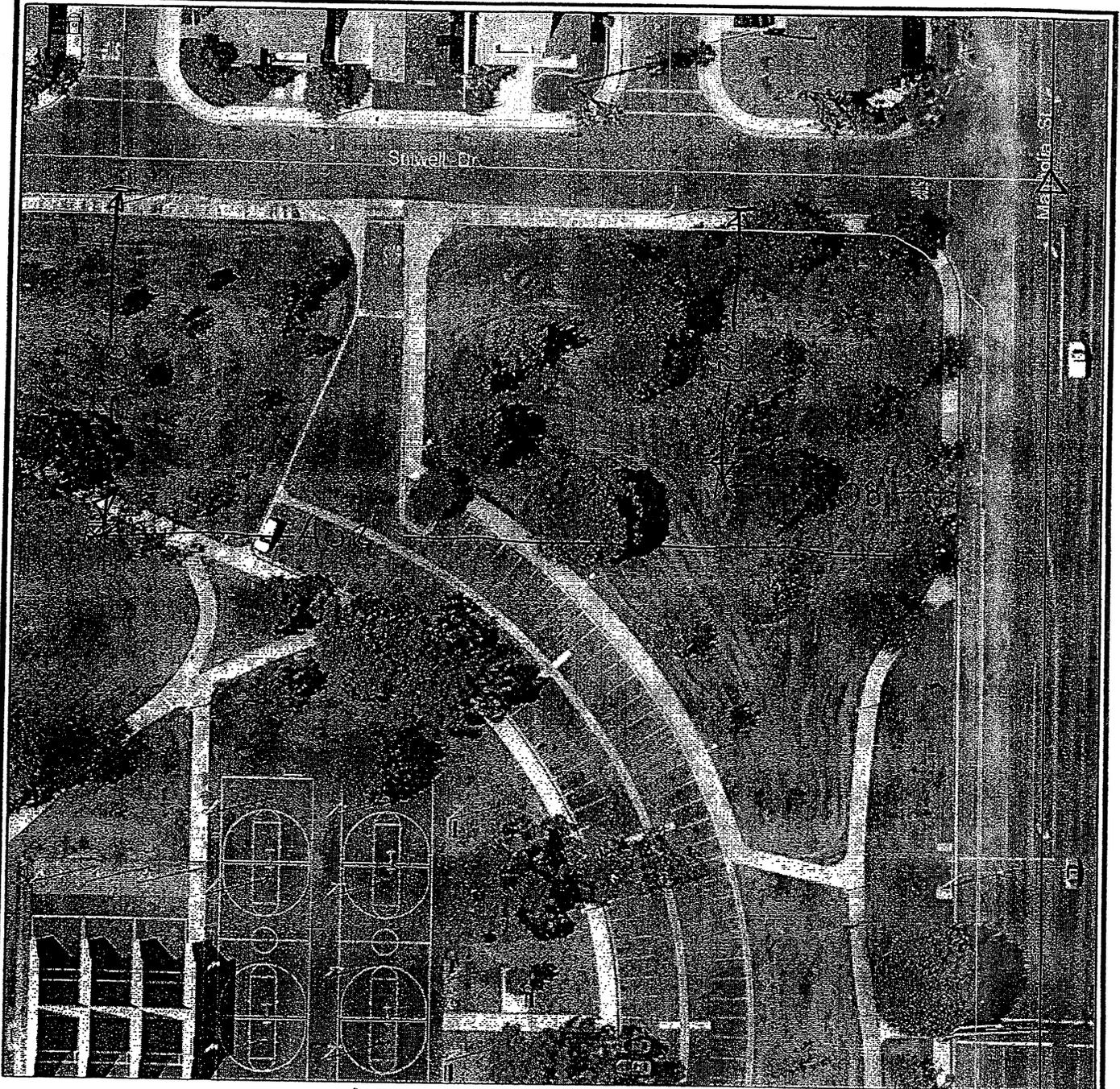
- a. Discovery of soil contamination or underground pipelines, etc., must be reported to the Fire Department immediately and the approved work plan modified accordingly in compliance with City Specification #431-92 Soil Clean-Up Standards. **(FD)**
- b. Outside City Consultants. The Fire Department review of this project and subsequent plans may require the use of City consultants. The Huntington Beach City Council approved fee schedule allows the Fire Department to recover consultant fees from the applicant, developer or other responsible party. **(FD)**

Fire Department City Specifications may be obtained at:
Huntington Beach Fire Department Administrative Office
City Hall 2000 Main Street, 5th floor
Huntington Beach, CA 92648

or through the City's website at www.surfcity-hb.org

If you have any questions, please contact the Fire Prevention Division at (714) 536-5411.

S:\Prevention\1-Development\Planning Department - Planning Applications, CUP's\Magnolia 21372 Edison Park Master Plan PA# 2008-0022
CUP# 2008-004 DR# 2008-006 2-29-08.doc



Huntington Beach

Map produced by information contained in the City of Huntington Beach Information Services Department Geographic Information System. Information warranted for City use only. Huntington Beach does not guarantee its completeness or accuracy.
Map Produced on 2/29/2008



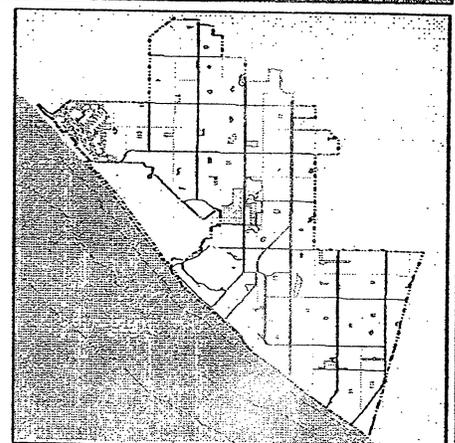
HB
GIS

0 68 136



One inch equals 68 feet

FIRE STATIONS	
OIL WELLS	
FIRE HYDRANTS	
STREET NAMES	
CITY BOUNDARY	





**CITY OF HUNTINGTON BEACH
DEPARTMENT OF BUILDING & SAFETY
PROJECT IMPLEMENTATION CODE REQUIREMENTS**

DATE: March 5, 2008
PROJECT NAME: EDISON PARK MASTER PLAN
PLANNING APPLICATION NO. PLANNING APPLICATION NO. 2008-0022
ENTITLEMENTS: CONDITIONAL USE PERMIT NO. 2008-004 AND DESIGN REVIEW NO. 2008-006 (EDISON PARK MASTER PLAN)
DATE OF PLANS: FEBRUARY 4, 2008
PROJECT LOCATION: 21372 MAGNOLIA STREET (NORTHWEST CORNER OF MAGNOLIA ST. AND HAMILTON AVE.)
PLAN REVIEWER: JASON KWAK, PLAN CHECK ENGINEER
TELEPHONE/E-MAIL: (714) 536-5278 / jkwak@surfcity-hb.org
PROJECT DESCRIPTION: TO PERMIT IMPROVEMENTS TO EDISON COMMUNITY PARK CONSISTING OF THE INSTALLATION OF PARKING FACILITIES AND HARDSCAPE AND LANDSCAPE IMPROVEMENTS.

The following is a list of code requirements deemed applicable to the proposed project based on plans received as stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. This list is not intended to be a full and complete list and serves only to highlight possible building code issues on the proposed preliminary plans. Electrical, plumbing, and mechanical items are not included in this review. If you have any questions regarding these comments, please contact the plan reviewer.

I. SPECIAL CONDITIONS:

1. None

II. CODE ISSUES BASED ON PLANS & DRAWINGS SUBMITTED:

1. Project shall comply with the 2007 California Building Code, 2007 California Mechanical Code, 2007 California Plumbing Code, 2007 California Electrical Code, 2005 California Energy Code and the Huntington Beach Municipal Code (HBMC). Compliance to all applicable state and local codes is required prior to issuance of building permit.
2. Provide disabled accessibility per 2007 CBC, including accessible parking and path of travel.

City of Huntington Beach

MAR 05 2008

ATTACHMENT NO. 5.9



HUNTINGTON BEACH PUBLIC WORKS DEPARTMENT

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: MARCH 11, 2008

PROJECT NAME: EDISON PARK MASTER PLAN

ENTITLEMENTS: CUP NO. 2008-004 AND DR NO. 2008-06

PLNG APPLICATION NO: 2008-022

DATE OF PLANS: FEBRUARY 4, 2008

PROJECT LOCATION: 21372 MAGNOLIA STREET, HUNTINGTON BEACH

PROJECT PLANNER: RAMI TALLEH, ASSOCIATE PLANNER

TELEPHONE/E-MAIL: 714-374-1682 / RTALLEH@SURFCITY-HB.ORG

PLAN REVIEWER: JAMES WAGNER, SENIOR CIVIL ENGINEER *JRW*

TELEPHONE/E-MAIL: 714-536-5467 / JWAGNER@SURFCITY-HB.ORG

PROJECT DESCRIPTION: TO PERMIT IMPROVEMENTS TO EDISON COMMUNITY PARK
CONSISTING OF THE INSTALLATION OF PARKING FACILITIES AND
HARDSCAPE AND LANDSCAPE IMPROVEMENTS.

REVISION: This memo shall replace and supersede the memo dated March 7, 2008. Change only to item (1) on page 2 to clarify the traffic analysis requirement.

City of Huntington Beach
MAR 11 2008

The following is a list of code requirements deemed applicable to the proposed project based on plans as stated above. The items below are to meet the City of Huntington Beach's Municipal Code (HBMC), Zoning and Subdivision Ordinance (ZSO), Department of Public Works Standard Plans (Civil, Water and Landscaping) and the American Public Works Association (APWA) Standards Specifications for Public Works Construction (Green Book), the Orange County Drainage Area management Plan (DAMP), and the City Arboricultural and Landscape Standards and Specifications. The list is intended to assist the applicant by identifying requirements which shall be satisfied during the various stages of project permitting, implementation and construction. If you have any questions regarding these requirements, please contact the Plan Reviewer or Project Planner.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A DEMOLITION PERMIT:

1. Provide a consulting arborist report on all the existing trees. Said report shall quantify, identify, size and analyze the health of the existing trees. The report shall also recommend how the existing trees that are to remain (if any) shall be protected and how far construction/grading shall be kept from the trunk. (Resolution 4545)
 - a. Existing mature trees that are to be removed must be replaced at a 2 for 1 ratio with a 36" box tree or palm equivalent (13'-14' of trunk height for Queen Palms and 8'-9' of brown trunk).

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO
ISSUANCE OF A GRADING PERMIT:**

1. A Localized Traffic Analysis prepared by a Licensed Civil Engineer, to review all project access points and adjacent driveways on Magnolia Street and Hamilton Avenue, shall be submitted to Public Works for Review and Approval.
2. For projects that will result in mitigation measures from a Localized Traffic Analysis, a Street Improvement Plan prepared by a Licensed Civil Engineer shall be providing to Public Works for review and approval.
3. Right-of-way dedications from two (2) City of Huntington Beach owned parcels (APN 148-012-04 and APN 148-012-12) along the Magnolia Street frontage shall be required to indicate public easement for Magnolia Street.
4. A Precise Grading Plan prepared by a Licensed Civil Engineer, shall be submitted to the Public Works Department for review and approval. (MC 17.05/ZSO 230.84) The plans shall comply with Public Works plan preparation guidelines and include:
 - a. A separate backflow protection device shall be installed per Water Division Standards for each domestic/irrigation water services. (Resolution 5921 and Title 17)
5. A Landscape and Irrigation Plan, prepared by a Licensed Landscape Architect shall be submitted to the Public Works Department for review and approval by the Public Works and Planning Departments. (ZSO 232.04)
 - a. Existing mature trees that are to be removed must be replaced at a 2 for 1 ratio with a 36" box tree or palm equivalent (13'-14' of trunk height for Queen Palms and 8'-9' of brown trunk).
 - b. "Smart irrigation controllers" and/or other innovative means to reduce the quantity of runoff shall be installed. (ZSO 232.04D)
 - c. Standard landscape code requirements apply. (ZSO 232)
6. All landscape planting, irrigation and maintenance shall comply with the City Arboricultural and Landscape Standards and Specifications. (ZSO 232.04B)
7. Landscaping plans should utilize native, drought-tolerant landscape materials where appropriate and feasible. (DAMP)
8. The Consulting Arborist (approved by the City Landscape Architect) shall review the final landscape tree planting plan and approve in writing the selection and locations proposed for new trees and the protection measures and locations of existing trees to remain. Said Arborist report shall be incorporated onto the Landscape Architect's plans as construction notes and/or construction requirements. The report shall include the Arborist's name, certificate number and the Arborist's wet signature on the final plan. (Resolution-4545)
9. A suitable location, as approved by the City, shall be depicted on the grading plan for the necessary trash enclosure(s). The area shall be paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, and screened or walled to prevent off-site transport of trash. The trash enclosure area shall be covered or roofed with a solid, impervious material. Connection of trash area drains into the storm drain system is prohibited. If feasible, the trash enclosure area shall be connected into the sanitary sewer. (DAMP)

10. Prior to the issuance of any grading or building permits for projects that will result in soil disturbance of one or more acres of land, the plan shall demonstrate that coverage has been obtained under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP) conforming to the current National Pollution Discharge Elimination System (NPDES) requirements shall be submitted to the Department of Public Works for review and acceptance. A copy of the current SWPPP shall be kept at the project site and another copy to be submitted to the City. (DAMP)
11. A Project Water Quality Management Plan (WQMP) conforming to the City of Huntington Beach's Project WQMP Preparation Guidance Manual dated June 2006 and prepared by a Licensed Civil Engineer, shall be submitted to the Department of Public Works for review and acceptance and shall include the following:
- a. Discusses regional or watershed programs (if applicable)
 - b. Addresses Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas
 - c. Incorporates the applicable Routine Source Control BMPs as defined in the Drainage Area Management Plan (DAMP)
 - d. Incorporates Treatment Control BMPs as defined in the DAMP
 - e. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs
 - f. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs
 - g. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs
 - h. Includes an Operations and Maintenance (O&M) Plan for all structural BMPs
 - i. After incorporating plan check comments of Public Works, three final WQMPs (signed by the owner and the Registered Civil Engineer of record) shall be submitted to Public Works for acceptance. After acceptance, two copies of the final report shall be returned to applicant for the production of a single complete electronic copy of the accepted version of the WQMP on CD media that includes:
 - i) The 11" by 17" Site Plan in .TIFF format (400 by 400 dpi minimum).
 - ii) The remainder of the complete WQMP in .PDF format including the signed and stamped title sheet, owner's certification sheet, Inspection/Maintenance Responsibility sheet, appendices, attachments and all educational material.
 - j. The applicant shall return one CD media to Public Works for the project record file.
12. Indicate the type and location of Water Quality Treatment Control Best Management Practices (BMPs) on the Grading Plan consistent with the Project WQMP. The WQMP shall follow the City of Huntington Beach; Project Water Quality Management Plan Preparation Guidance Manual dated June 2006. The WQMP shall be submitted with the first submittal of the Grading Plan.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH DURING GRADING OPERATIONS:

1. All haul trucks shall arrive at the site no earlier than 8:00 a.m. or leave the site no later than 5:00 p.m., and shall be limited to Monday through Friday only. (MC 17.05)
2. Comply with appropriate sections of AQMD Rule 403, particularly to minimize fugitive dust and noise to surrounding areas. (AQMD Rule 403)
3. All construction materials, wastes, grading or demolition debris and stockpiles of soils, aggregates, soil amendments, etc. shall be properly covered, stored and secured to prevent transport into surface or ground waters by wind, rain, tracking, tidal erosion or dispersion. (DAMP)

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. A Precise Grading Permit shall be issued. (MC 17.05)

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO FINAL INSPECTION OR OCCUPANCY:

1. Complete all improvements as shown on the approved grading, landscape and improvement plans. (MC 17.05)
2. The current tree code requirements shall apply to this site. (ZSO 232)
 - a. Existing trees to remain on site shall not be disfigured or mutilated, (ZSO 232.04E), and,
 - b. General tree requirements, regarding quantities and sizes, (ZSO 232.08B and C).
3. All landscape irrigation and planting installation shall be certified to be in conformance to the City approved landscape plans by the Landscape Architect of record in written form to the City Landscape Architect. (ZSO 232.04D)
4. Provide City with CD media TIFF images (in City format) and CD (AutoCAD only) copy of complete City Approved landscape construction drawings as stamped "Permanent File Copy" prior to starting landscape work. Copies shall be given to the City Landscape Architect for permanent City record.
5. Prior to grading or building permit close-out and/or the issuance of a certificate of use or a certificate of occupancy, the project shall: (a) Demonstrate that all structural Best Management Practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications, (b) Demonstrate all drainage courses, pipes, gutters, basins, etc. are clean and properly constructed, (c) Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP, and (d) Demonstrate that an adequate number of copies of the approved Project WQMP are available for the future occupiers.
6. The Water Ordinance #14.52, the "Water Efficient Landscape Requirements" apply for projects with 2500 square feet of landscaping and larger. (MC 14.52)



HUNTINGTON BEACH PLANNING DEPARTMENT

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: APRIL 1, 2008

PROJECT NAME: EDISON PARK MASTER PLAN

PLANNING APPLICATION NO. PLANNING APPLICATION NO. 2008-0022

ENTITLEMENTS: CONDITIONAL USE PERMIT NO. 2008-004 AND DESIGN REVIEW NO. 2008-006 (EDISON PARK MASTER PLAN)

DATE OF PLANS: FEBRUARY 4, 2008

PROJECT LOCATION: 21372 MAGNOLIA STREET (NORTHWEST CORNER OF MAGNOLIA ST. AND HAMILTON AVE.)

PLAN REVIEWER: RAMI TALLEH, SENIOR PLANNER

TELEPHONE/E-MAIL: (714) 374-1682/rtalleh@surfcity-hb.org

PROJECT DESCRIPTION: TO PERMIT IMPROVEMENTS TO EDISON COMMUNITY PARK CONSISTING OF THE INSTALLATION OF PARKING FACILITIES AND HARDSCAPE AND LANDSCAPE IMPROVEMENTS.

The following is a list of code requirements deemed applicable to the proposed project based on plans stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

CONDITIONAL USE PERMIT NO. 2008-04:

1. The site plan, floor plans, and elevations approved by the Planning Commission shall be the conceptually approved design with the following modifications:
 - a. Parking lot striping shall comply with Chapter 231 of the Zoning and Subdivision Ordinance and Title 24, California Administrative Code.
 - b. Depict all utility apparatus, such as but not limited to, back flow devices and Edison transformers on the site plan. Utility meters shall be screened from view from public right-of-ways. Electric transformers in a required front or street side yard shall be enclosed in subsurface vaults. Backflow prevention devices shall be prohibited in the front yard setback and shall be screened from view.

- c. All exterior mechanical equipment shall be screened from view on all sides. Rooftop mechanical equipment shall be setback a minimum of 15 feet from the exterior edges of the building. Equipment to be screened includes, but is not limited to, heating, air conditioning, refrigeration equipment, plumbing lines, ductwork and transformers. Said screening shall be architecturally compatible with the building in terms of materials and colors. If screening is not designed specifically into the building, a rooftop mechanical equipment plan showing proposed screening must be submitted for review and approval with the application for building permit(s).
 - d. Depict the location of all gas meters, water meters, electrical panels, air conditioning units, mailboxes (as approved by the United States Postal Service), and similar items on the site plan and elevations. If located on a building, they shall be architecturally integrated with the design of the building, non-obtrusive, not interfere with sidewalk areas and comply with required setbacks.
 - e. All parking area lighting shall be energy efficient and designed so as not to produce glare on adjacent residential properties. Security lighting shall be provided in areas accessible to the public during nighttime hours, and such lighting shall be on a time-clock or photo-sensor system. **(HBZSO 231.18(C))**
 - f. Project data information shall include the flood zone, base flood elevation and lowest building floor elevation(s) per NAVD88 datum.
 - g. Bicycle parking facilities shall be provided in accordance with the provisions of HBZSO Section 231.20 – *Bicycle Parking*.
2. Prior to submittal for building permits, the following shall be completed:
- a. Zoning entitlement conditions of approval, code requirements identified herein and code requirements identified in separately transmitted memorandum from the Departments of Fire and Public Works shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
 - b. A request for Letter of Map Revision shall be submitted to the Federal Emergency Management Agency (FEMA) to remove the proposed structure(s) and/or property from the floodplain.
3. The structure(s) cannot be occupied, the final building permit(s) cannot be approved, and utilities cannot be until the following has been completed:
- a. All improvements must be completed in accordance with approved plans, except as provided for by conditions of approval.
 - b. Compliance with all conditions of approval specified herein shall be verified by the Planning Department.
 - c. An "as built" Elevation Certificate certifying the lowest floor and mechanical equipment for each building, or a Letter of Map Revision issued by the Federal Emergency Management Agency (FEMA), shall be submitted to the Planning Department.
4. The Development Services Departments (Building & Safety, Fire, Planning and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Planning may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed

and approved the proposed changes for conformance with the intent of the Planning Commission's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the Planning Commission may be required pursuant to the provisions of HBZSO Section 241.18.

5. The applicant and/or applicant's representative shall be responsible for ensuring the accuracy of all plans and information submitted to the City for review and approval.
6. Conditional Use Permit No. 2008-04 shall not become effective until the ten calendar day appeal period following the approval of the entitlements has elapsed.
7. Conditional Use Permit No. 2008-04 shall become null and void unless exercised within one year of the date of final approval or such extension of time as may be granted by the Director pursuant to a written request submitted to the Planning Department a minimum 30 days prior to the expiration date.
8. The Planning Commission reserves the right to revoke Conditional Use Permit No. 2008-04 pursuant to a public hearing for revocation, if any violation of the conditions of approval, Huntington Beach Zoning and Subdivision Ordinance or Municipal Code occurs.
9. The project shall comply with all applicable requirements of the Municipal Code, Building & Safety Department and Fire Department, as well as applicable local, State and Federal Fire Codes, Ordinances, and standards, except as noted herein.
10. Construction shall be limited to Monday – Saturday 7:00 AM to 8:00 PM. Construction shall be prohibited Sundays and Federal holidays.
11. The applicant shall submit a check in the amount of \$1,876.75 for the posting of the Notice of Determination at the County of Orange Clerk's Office. The check shall be made out to the County of Orange and submitted to the Planning Department within two (2) days of the Planning Commission's approval of entitlements.
12. All landscaping shall be maintained in a neat and clean manner, and in conformance with the HBZSO. Prior to removing or replacing any landscaped areas, check with the Departments of Planning and Public Works for Code requirements. Substantial changes may require approval by the Planning Commission.
13. All permanent, temporary, or promotional signs shall conform to Chapter 233 of the HBZSO. Prior to installing any new signs, changing sign faces, or installing promotional signs, applicable permit(s) shall be obtained from the Planning Department. Violations of this ordinance requirement may result in permit revocation, recovery of code enforcement costs, and removal of installed signs.

