

II. DEVELOPMENT CONCEPT

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A. General Development Plan

The development concept for the Holly-Seacliff Specific Plan is designed in concert with the site's cultural and natural features to provide for a variety of compatible land uses: residential, commercial, mixed development, industrial, open space, parks and recreation areas. The Holly-Seacliff area will be a large master-planned community located within the central area of the City of Huntington Beach.

Residential areas are planned at a range of densities to provide a variety of housing types, ranging from large detached single-family homes to various types of multi-family dwellings. The lower-density residential areas are located in the western and central portions of the project and the area abutting Seacliff Country Club. The medium density areas are predominately located in the eastern and central portion of the community, along Garfield Avenue, Main Street and Gothard Street. Medium-high density areas are planned along Garfield Avenue, near planned commercial and industrial uses. A total of 475 residential units are also planned as part of a mixed development project as part of the Seacliff Village area.

An industrial park area is centrally located within the community, at the intersection of the major arterial roadways for convenient access and exposure. Neighborhood and convenience commercial centers will be located along Garfield Avenue to serve the residents' shopping and service needs. The Specific Plan also identifies public facilities including three neighborhood parks.

The project is divided into four individual Planning Areas (I through IV), as shown on Exhibit 3, General Development Plan and Exhibits 4,5,6, and 7. A summary of land uses within each Planning Area can be found on Table 1, Land Use Table. The purpose of identifying individual Planning Areas is to allow development of individual distinct identities, focusing on the particular character of land uses within each of the specific areas.

B. Land Use Categories

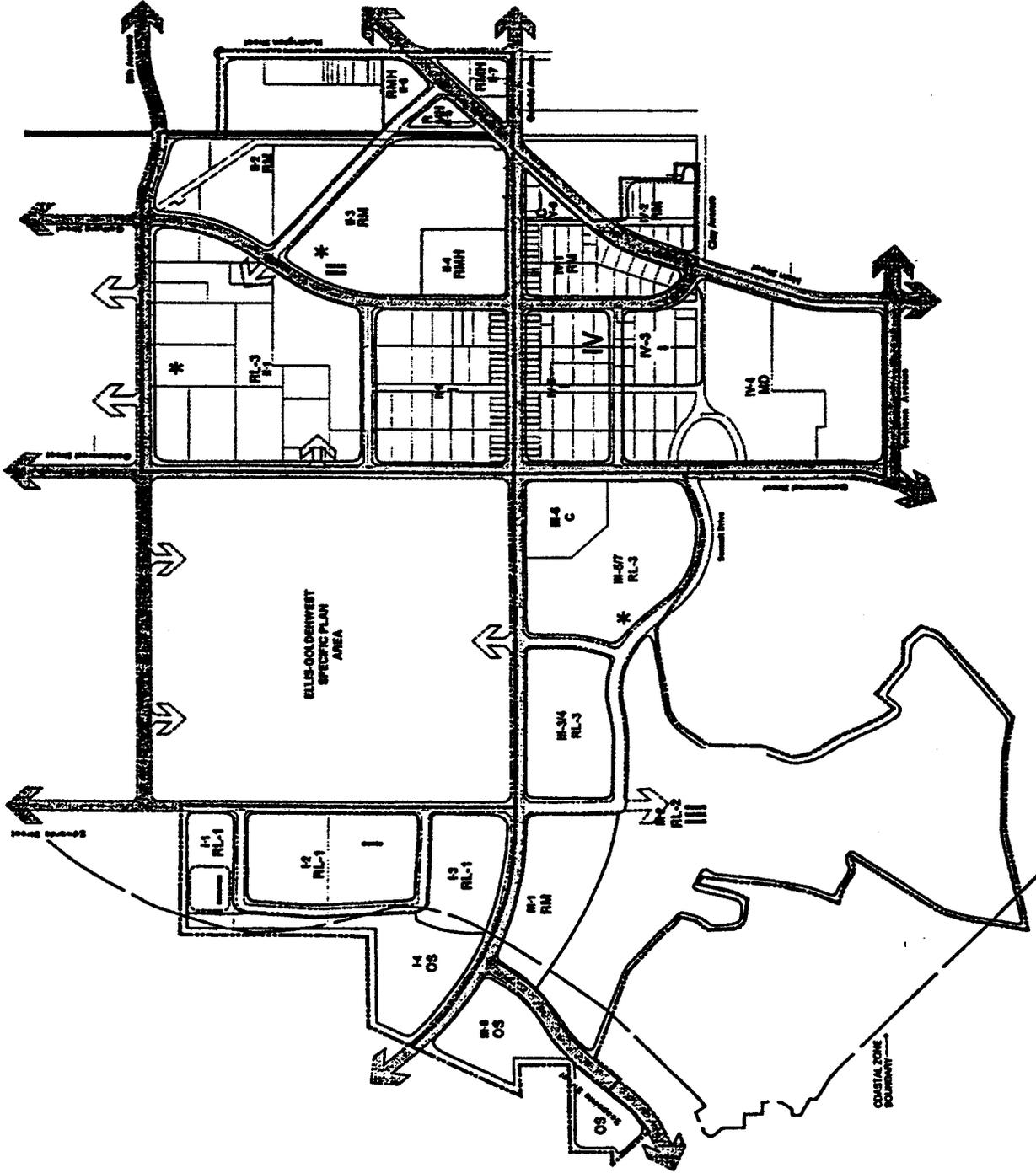
The following sections describe the development concepts for each land use within the four Planning Areas.

1. Residential Land Uses

The Holly-Seacliff Specific Plan provides for a range of residential densities and a variety of housing types, consistent with residential densities permitted throughout the City of Huntington Beach.

LEGEND

- RL-1 LOW DENSITY RESIDENTIAL 1 4' Street
- RL-2 LOW DENSITY RESIDENTIAL 2 4' Street
- RL-3 LOW DENSITY RESIDENTIAL 3 4' Street
- RM Medium Density Residential
- RM-1 Medium Density Residential 1 4' Street
- RM-2 Medium Density Residential 2 4' Street
- RM-3 Medium Density Residential 3 4' Street
- RM-4 Medium Density Residential 4 4' Street
- RM-5 Medium Density Residential 5 4' Street
- RM-6 Medium Density Residential 6 4' Street
- RM-7 Medium Density Residential 7 4' Street
- RM-8 Medium Density Residential 8 4' Street
- RM-9 Medium Density Residential 9 4' Street
- RM-10 Medium Density Residential 10 4' Street
- RM-11 Medium Density Residential 11 4' Street
- RM-12 Medium Density Residential 12 4' Street
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- RM-35 Medium Density Residential 35 4' Street
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- RM-97 Medium Density Residential 97 4' Street
- RM-98 Medium Density Residential 98 4' Street
- RM-99 Medium Density Residential 99 4' Street
- RM-100 Medium Density Residential 100 4' Street
- C Commercial
- I Industrial
- OS Open Space
- PA Planning Area
- PL Planning Unit
- * Neighborhood Parks

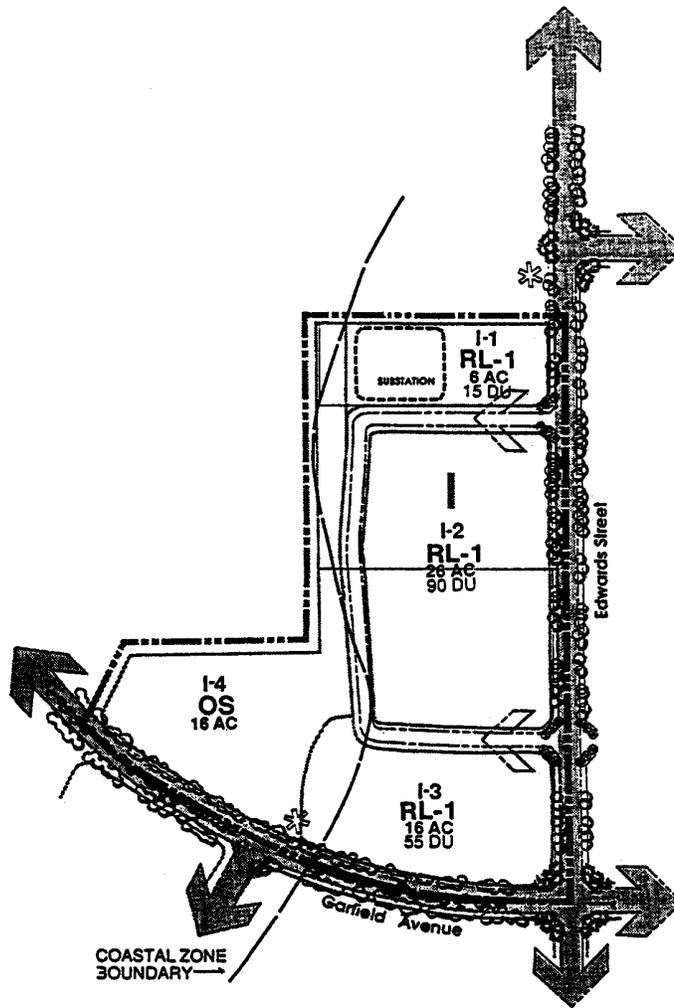


**TABLE 1
HOLLY-SEACLIFF SPECIFIC PLAN
LAND USE TABLE**

PLANNING AREA	PLANNING UNIT	LAND USE CATEGORY	GROSS ACRES	TOTAL UNITS	MAXIMUM GROSS DENSITY	AVERAGE GROSS DENSITY	DEV. STANDS. (PAGE)
I	I-1	RESIDENTIAL-LOW DENSITY 1	6	15	4	2.5	III-10
	I-2	RESIDENTIAL-LOW DENSITY 1	26	90	4	3.5	III-10
	I-3	RESIDENTIAL-LOW DENSITY 1	16	55	4	3.4	III-10
	I-4	OPEN SPACE	16				III-32
		SUBTOTAL		64	160		
II	II-1	RESIDENTIAL-LOW DENSITY 3	62*	310	7	4.1	III-16
	II-2	RESIDENTIAL-MEDIUM DENSITY	40	415	15	11.0	III-20
	II-3	RESIDENTIAL-MEDIUM DENSITY	34*	390	15	13.0	III-20
	II-4	RESIDENTIAL-MEDIUM-HIGH DENSITY	9	170	25	16.6	III-23
	II-5	RESIDENTIAL-MEDIUM-HIGH DENSITY	4	75	25	18.8	III-23
	II-6	RESIDENTIAL-MEDIUM-HIGH DENSITY	4	75	25	18.8	III-23
	II-7	RESIDENTIAL-MEDIUM-HIGH DENSITY	6	100	25	16.6	III-23
	II-8	INDUSTRIAL	32				III-31
	SUBTOTAL		191	1,535			
III	III-1	RESIDENTIAL-MEDIUM DENSITY	19	285	15	15.0	III-20
	III-2	RESIDENTIAL-LOW DENSITY 2	105	397	7	3.8	III-13
	III-3/4	RESIDENTIAL-LOW DENSITY 3	21	86	5	5	III-16
	III-5/7	RESIDENTIAL-LOW DENSITY 3	26**	119	5	5	III-16
	III-6	COMMERCIAL	11				III-31
	III-8	OPEN SPACE	16				III-32
	SUBTOTAL		198	887			
IV	IV-1	RESIDENTIAL-MEDIUM DENSITY	16	155	15	9.7	III-20
	IV-2	RESIDENTIAL-MEDIUM DENSITY	8	120	15	15.0	III-20
	IV-3	INDUSTRIAL	9				III-31
	IV-4	MIXED DEVELOPMENT	53	165	25	14.4	III-25
	IV-5	INDUSTRIAL	22				III-31
	IV-6	COMMERCIAL	4				III-31
	SUBTOTAL		112	440			
	TOTAL		565	3,022			

* Includes 4-acre Neighborhood Park.

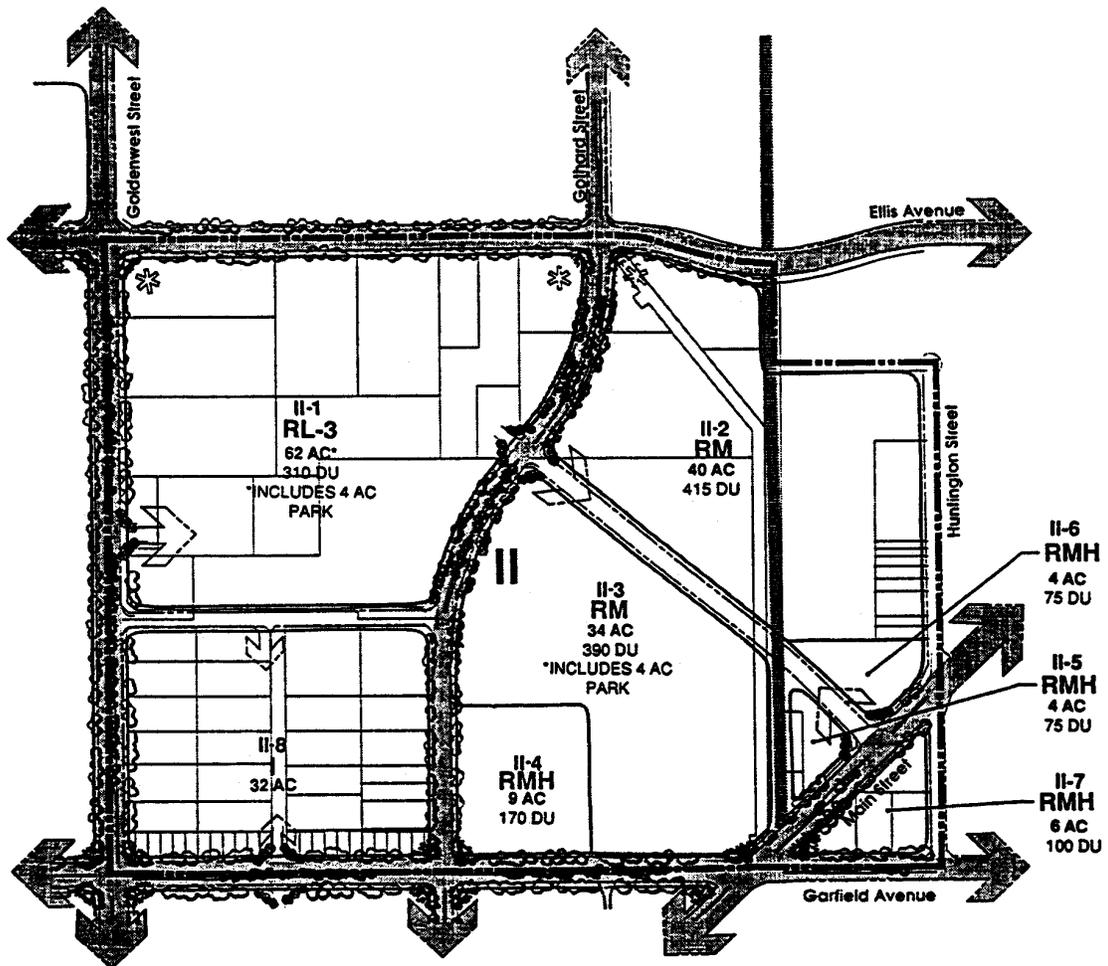
** Includes 5-acre Neighborhood Park.



NOTE:
See Exhibit 10 for Landscape Legend.

CITY OF HUNTINGTON BEACH
HOLLY-SEACLIFF AREA SPECIFIC PLAN

EXHIBIT 4
PLANNING AREA I
DEVELOPMENT PLAN



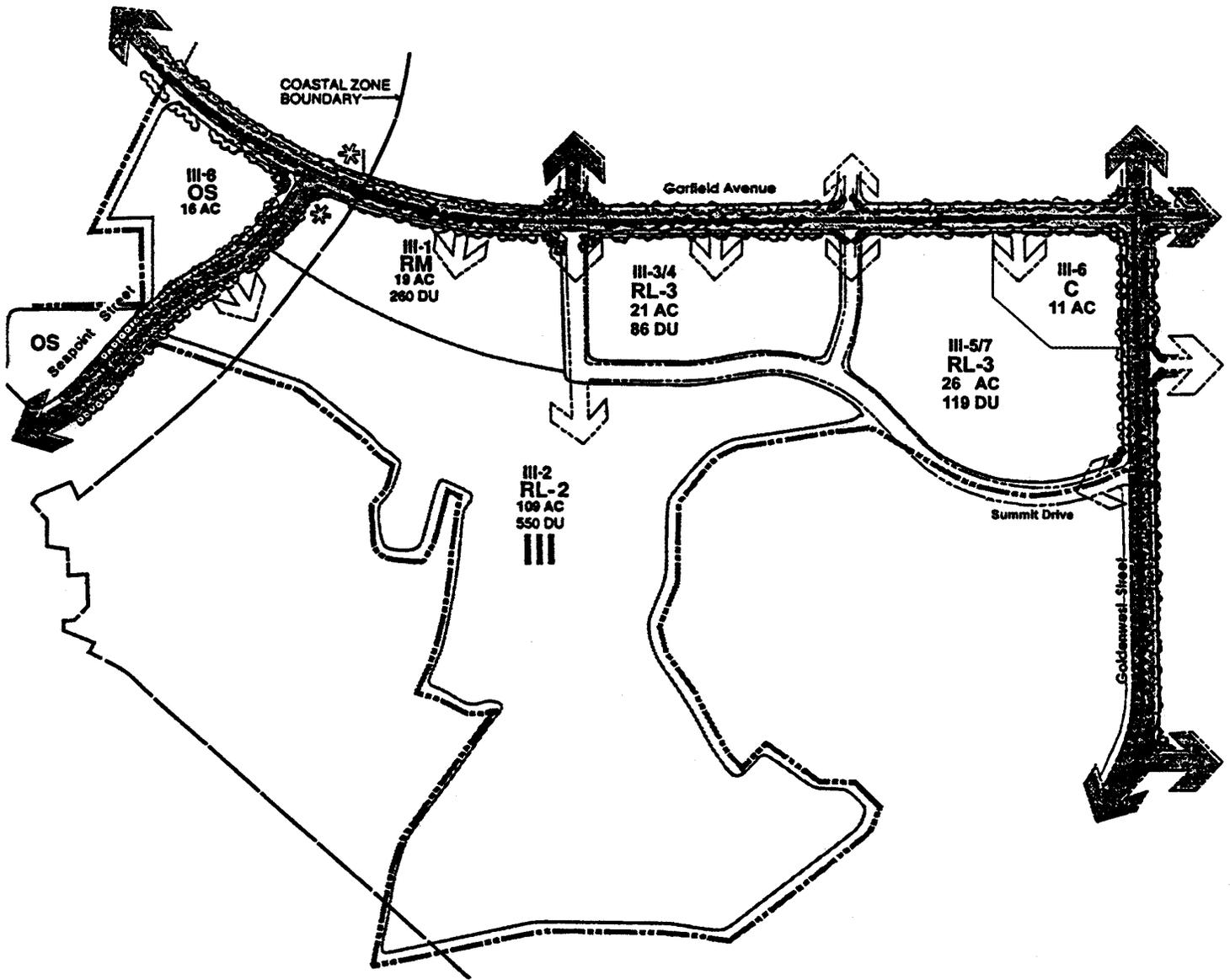
NOTE:
See Exhibit 10 for Landscape Legend.

CITY OF HUNTINGTON BEACH

EXHIBIT 5
**PLANNING AREA II
DEVELOPMENT PLAN**

HOLLY-SEA CLIFF AREA SPECIFIC PLAN

FORMA
FEBRUARY 11, 1991



NOTE:
See Exhibit 10 for Landscape Legend.

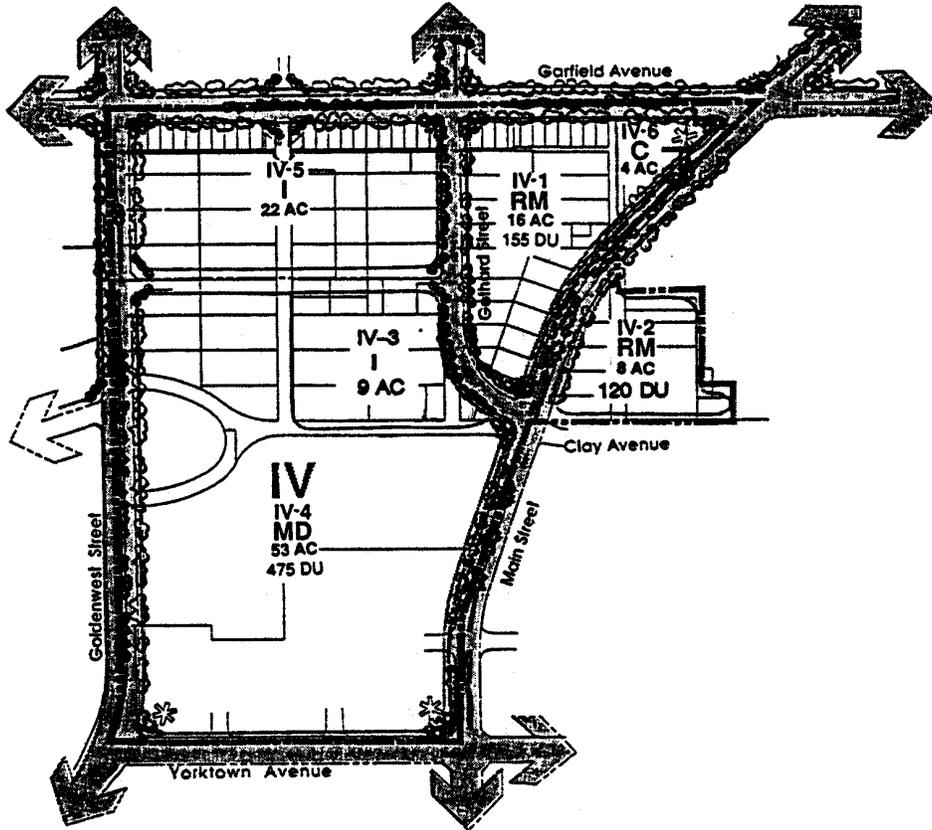
EXHIBIT 6

PLANNING AREA III DEVELOPMENT PLAN

CITY OF HUNTINGTON BEACH

HOLLY-SEACLIFF AREA SPECIFIC PLAN

FORMA



NOTE:
See Exhibit 10 for Landscape Legend.

CITY OF HUNTINGTON BEACH

EXHIBIT 7
**PLANNING AREA IV
DEVELOPMENT PLAN**

HOLLY-SEACLIFF AREA SPECIFIC PLAN

FORMA

a. Low Density

The Low Density categories are characterized by densities ranging from 4 to 7 dwelling units per acre.

Lots located in Planning Area I (RL-1) will be oriented to maximize their relationship to the linear park and provide unobstructed coastal views from blufftop areas. Permitted uses include lot sale subdivisions and detached single-family home subdivisions.

Low-density uses (RL-2) in Planning Area III are planned for areas abutting the private Seacliff Golf Course. Low-density (RL-3) uses in Planning Area II are planned as small lot detached single-family homes oriented in a traditional neighborhood setting.

b. Medium Density

The Medium Density (RM) category is planned to include densities ranging from 7 to 15 dwelling units per gross acre. Product types include single-family detached, single-family attached, and multi-family residential homes.

Medium Density areas are planned within Planning Areas II, III and IV. The single-family attached products will be two-story townhomes or flats. The multi-family units will be two and three-story condominiums/stacked flats and apartments.

c. Medium-High Density

The Medium-High Density (RMH) category is characterized by densities ranging from 15-25 dwelling units per gross acre. Product types include multi-family uses such as condominium/stacked flats and apartments.

Single-family attached units will be permitted, however this category will be primarily multi-family uses. Medium-High density areas are planned within Planning Areas II and III, along Garfield Avenue.

2. Mixed Development

The Mixed Development category allows for the creative combination of commercial, limited public and residential uses in a compatible manner. Residential products may include townhomes, condominiums, stacked flats and apartments. Public uses may include senior care facilities, general day care facilities and churches. The proposed uses will be clustered around a retail center providing a focal point for the entire project area. The location

for the mixed development is in Planning Area IV, diagonally across from the Civic Center.

3. Commercial Land Uses

Commercial land uses within the Holly-Seacliff Specific Plan Area are planned along Garfield Avenue within Planning Areas III and IV. The uses for these sites are expected to be those characteristic of a neighborhood commercial center, designed mainly to meet the local community shopping needs and reduce trips outside of the project area.

4. Industrial

The Industrial area, which currently is the center of oil production and oil-related services and storage uses, is intended to be developed as light industrial. The Industrial land uses within Holly-Seacliff are located at the intersection of Garfield Avenue and Goldenwest Street and Clay Avenue and Stewart Street, within Planning Areas II and IV.

5. Open Space

Open Space areas are designated within Planning Areas I and III. These areas are planned to be incorporated into the Bolsa Chica Linear Regional Park which will feature trails and passive recreation uses.

C. Circulation Plan

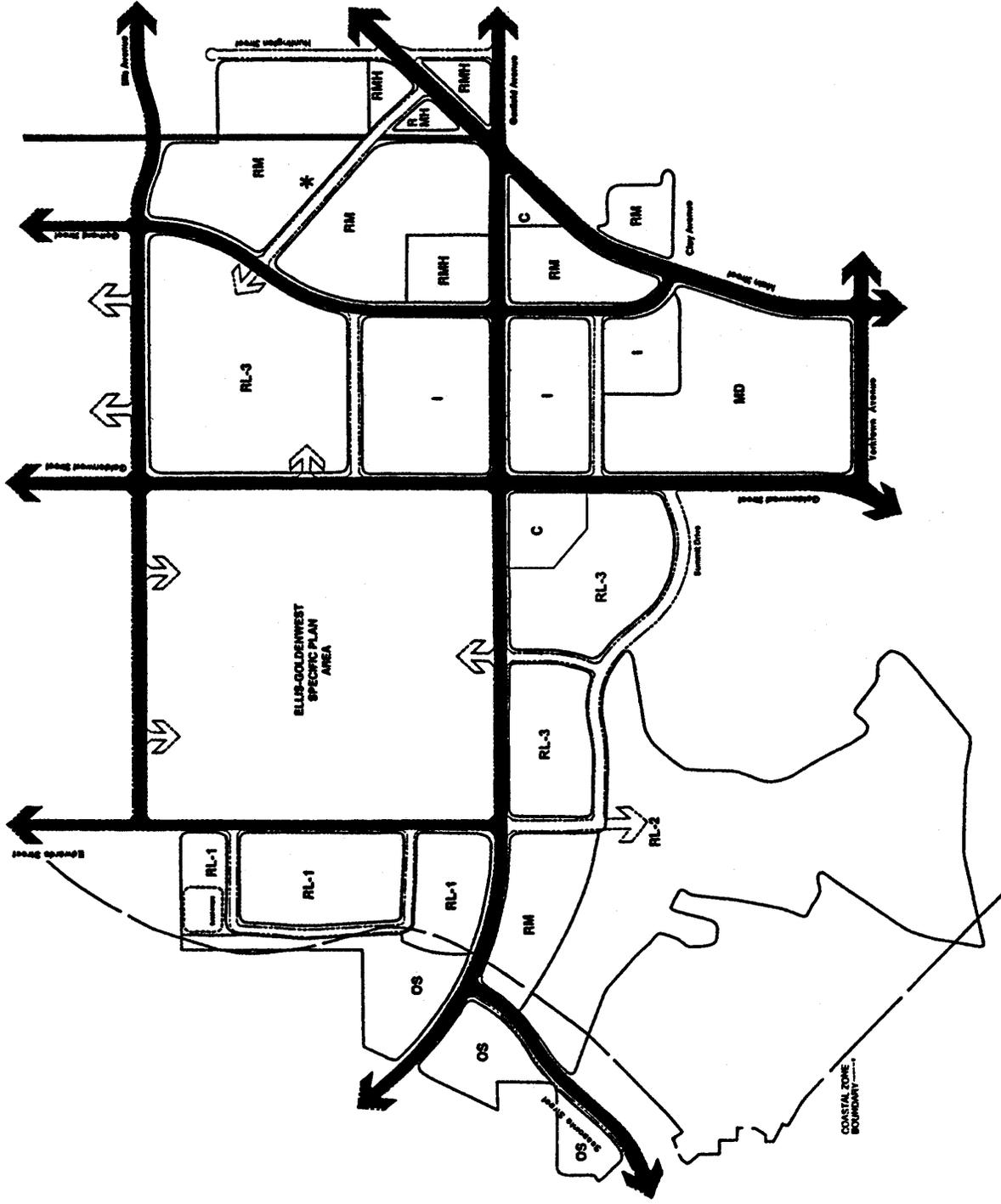
The Circulation Plan, Exhibit 8, depicts the general alignments and classifications of arterial highways within the Specific Plan area. The Circulation Plan is in accordance with provisions contained in the Holly-Seacliff Development Agreement 90-1. The Development Agreement provides a phasing plan for street improvements to correspond to the phased development in the Specific Plan area and to comply with and satisfy mitigation measures contained in Final Environmental Impact Report No. 89-1. Additionally, as stated in the Development Agreement, development projects within the Specific Plan area will be conditioned to participate in construction or fair-share funding associated with required infrastructure improvements needed to serve the Holly-Seacliff area.

The overall circulation concept relies on a hierarchy of circulation features ranging from major arterials to local residential streets. The system is designed to accommodate City-generated through-traffic while discouraging intrusion into individual neighborhood areas. Orange County Transit District bus stops shall be provided at locations as shown on Exhibit 12. Additional bus stops may be required at the time of development.

LEGEND

- MAJOR ARTERIAL HIGHWAY**
 6 Lane - Divided
 4 Lane - Divided
 4 Lane - Single
SCOUTED SECONDARY HIGHWAY
 4 Lane - Divided
 4 Lane - Single
PRIMARY HIGHWAY
 4 Lane - Divided
 4 Lane - Single
SCOUTED SECONDARY HIGHWAY
 4 Lane - Divided
 4 Lane - Single
SECONDARY HIGHWAY
 4 Lane - Divided
 4 Lane - Single

NOTE:
 See Technical Appendix for right-of-way requirements and signing plans. All local streets shown shall be public unless designated with a symbol which may be private.



A transportation corridor has been designated within Planning Area II. See Development Standards for Residential Medium and Medium High Densities for details. All streets shown on the Circulation Plan are public streets unless otherwise indicated. All public streets shall be developed to local street standards (as a minimum) as shown on the Standard Plans of the Public Works Department. All new traffic signals installed as part of development within the Specific Plan area shall be equipped with "Opticom" control devices. Detailed street plans and operational criteria can be found in the Holly Seacliff Specific Plan Technical Appendix.

D. Open Space/Recreation System

The Specific Plan designates 44 acres of open space and park uses (see Exhibit 9). Thirty-two (32) acres within Planning Areas I and III are to be dedicated per Development Agreement 90-1 to the City for the Bolsa Chica Linear Regional Park, which is planned to form a continuous open space corridor along the bluffs between Talbert Avenue and the Pacific Coast Highway for trails and passive recreation use.

Three neighborhood park areas with a minimum of four acres each are designated per Development Agreement 90-1 within the residential neighborhoods in Planning Areas II and III. These neighborhood facilities will provide local open space and recreational amenities.

Neighborhoods within the Specific Plan area will be linked to major open space/recreation facilities such as Huntington Central Park and the Bolsa Chica Linear Regional Park by bike lanes on all arterials.

Private recreational facilities will typically be provided within the multi-family residential projects for the use of the residents within these developments, adding to the public recreational opportunities available within the HollySeacliff project.

E. Grading Guidelines

Grading will be required to construct streets, infrastructure and other site improvements and to create properly drained development areas.

Another grading objective will be to balance cut and fill within the project area. It is intended that borrow sites, stockpiling and normal grading operations and procedures will occur within each of the individual planning areas.

The major grading constraint for the area is the elevation of existing public infrastructure facilities as they relate to the existing grades in the area. All reasonable efforts will be taken in the design of improvements and building pads to minimize the amount of grading required to accomplish workable and safe elevations through good engineering practices.

LEGEND

- ○ ○ ○ CLASS 1 BIKI TRAIL
- □ □ □ CLASS 2 BIKI TRAIL
- □ □ □ FORESHORE TRAIL
- RECREATION AREA
- SCENIC CORRIDOR
- TRANSPORTATION/TRAIL CORRIDOR
- * N/A1 CLASS ARE AS SHOWN IN RECREATION ELEMENT

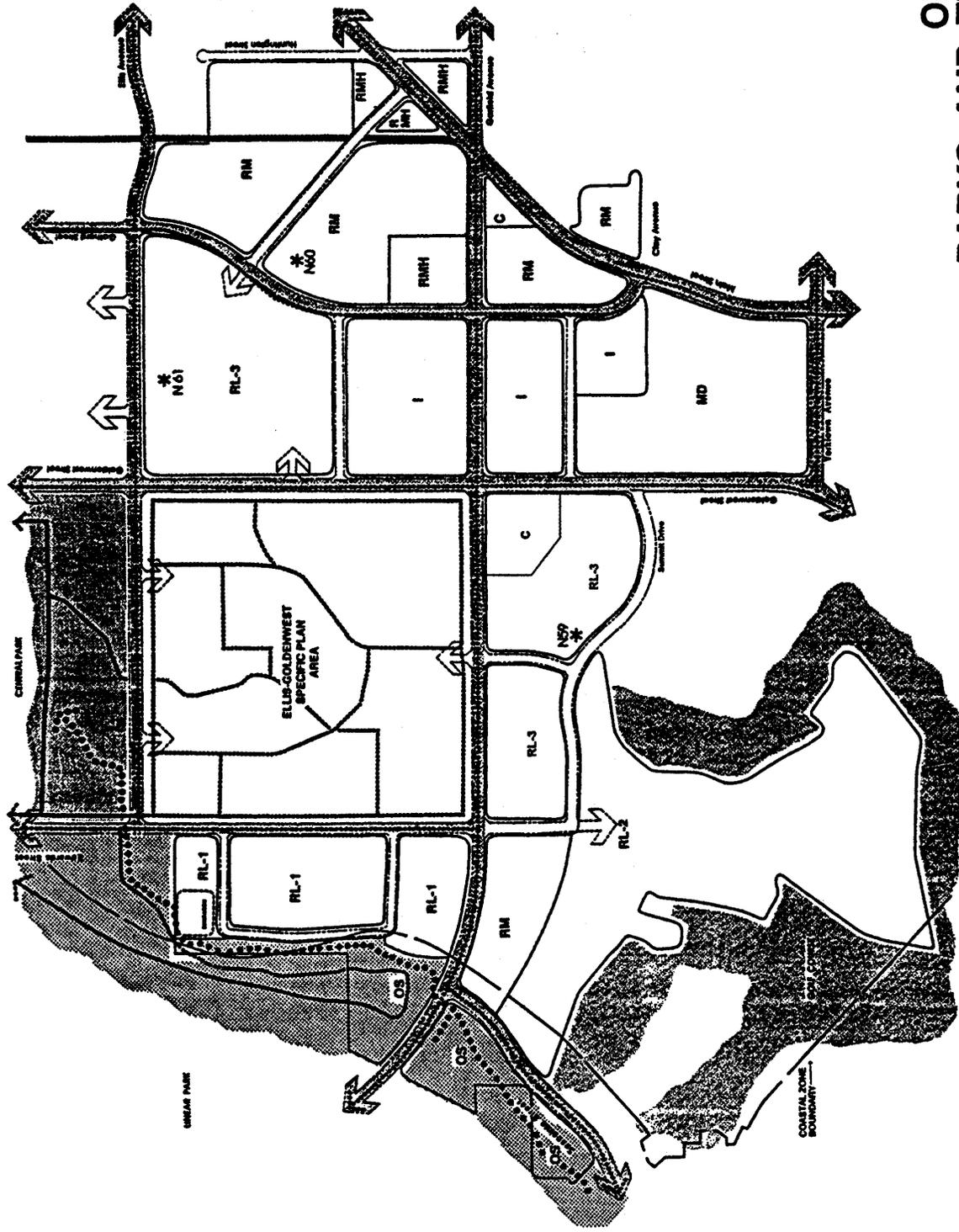


EXHIBIT 9
OPEN SPACE,
PARKS, AND TRAILS PLAN
 4/11/11 I, I
 FORM A

CITY OF HUNTINGTON BEACH
HOLLY-SEACLIFF AREA SPECIFIC PLAN

All grading within the Specific Plan area will require a grading permit and will be governed by soils, foundation and other geotechnical reports prepared by registered professional civil and geotechnical engineers, building codes, established engineering practices and City ordinances. The maximum slope ratio, horizontal to vertical, will be 2:1 unless otherwise recommended by a geotechnical engineering report and approved by the City.

Grading will occur in Planning Area I to lower grades near the intersection of Edwards Street and Garfield Avenue to meet safe highway design criteria, to increase useable areas within the linear park and to create and enhance coastal view opportunities.

In Planning Area II, grading will be necessary for the construction of arterial and local street improvements and the installation of master-planned drainage and sewer improvements within unimproved ravines. The ravine areas will be incorporated into a neighborhood linear park feature with slopes no greater than 2:1, in accordance with the schematic cross section on Exhibit 17.

Within Planning Area III, grading will be required to create and stabilize development areas and to direct runoff to master-planned facilities. Within Planning Area IV, grading will occur primarily in the Mixed Development area, concurrent with the widening of Goldenwest Street and removal of the existing abandoned reservoir.

The following guidelines are provided to enhance the visual form and character of manufactured slopes within the community:

- 1) Grading shall be consistent with City policies and incorporate safe grading techniques to provide for proper engineering practices and ensure adequate site drainage.
- 2) Blended and variable slopes shall be employed to restore a natural appearance within the framework of grading that is geologically safe.
- 3) There shall be a smooth transition where graded slopes meet existing grades. A transition at both the top and toe of slopes should also be provided.
- 4) Graded slopes shall be revegetated or landscaped per City approval.

F. Public Facilities

1. Infrastructure Plan

The Infrastructure Schematic Plan, Exhibits 10 and 11, identifies existing and proposed storm drain, sewer and water facility improvements to serve development within and surrounding the Specific Plan area. A specific analysis of infrastructure requirements and detailed design, construction and phasing plans can be found in the Holly-Seacliff Specific Plan Technical Appendix. The Technical Appendix also includes detailed arterial street sections, right-of-way requirements, traffic control systems and phasing plan.

Developers within the Specific Plan area will be responsible for the construction of public facilities improvements on a fair-share basis, as described in Section IV, Administration.

a. Storm Drains

Existing storm drainage facilities are maintained by the City of Huntington Beach, Public Works Department. The majority of the Holly Seacliff project area will drain via improved swales or proposed underground conduits into four primary runoff outlets.

The first of these primary outlets consists of drainage collected from the northwest portion of the project draining north. This runoff is either collected in a proposed storm drain system from Edwards Street northeasterly to the Ellis Avenue crossing, or drains in an improved swale north to the Ellis Avenue crossing.

The second primary runoff area consists of flows collected from the northeast and central portion of the project. The existing swales in Planning Area II will be upgraded and improved to accommodate both sewer and underground storm drain facilities. Storm drain systems will be added in Goldenwest Street from Garfield Avenue to midway between Ellis and Garfield Avenues, and in the realigned Gothard Street from Ernest Avenue to midway between Ellis and Ernest Avenues.

The third primary runoff area consists of flows collected in the most westerly and southwesterly portion of the area. All runoff from these areas drains to the south and through a detention basin at the downstream end of the Seacliff golf course. This basin has been designed to accommodate the future flows from development.

LEGEND

SEWER MAINS

SEWER LINES

City Engineer,
Huntington Beach

NOT TO SCALE
See Technical Appendix for Submittal
Requirements

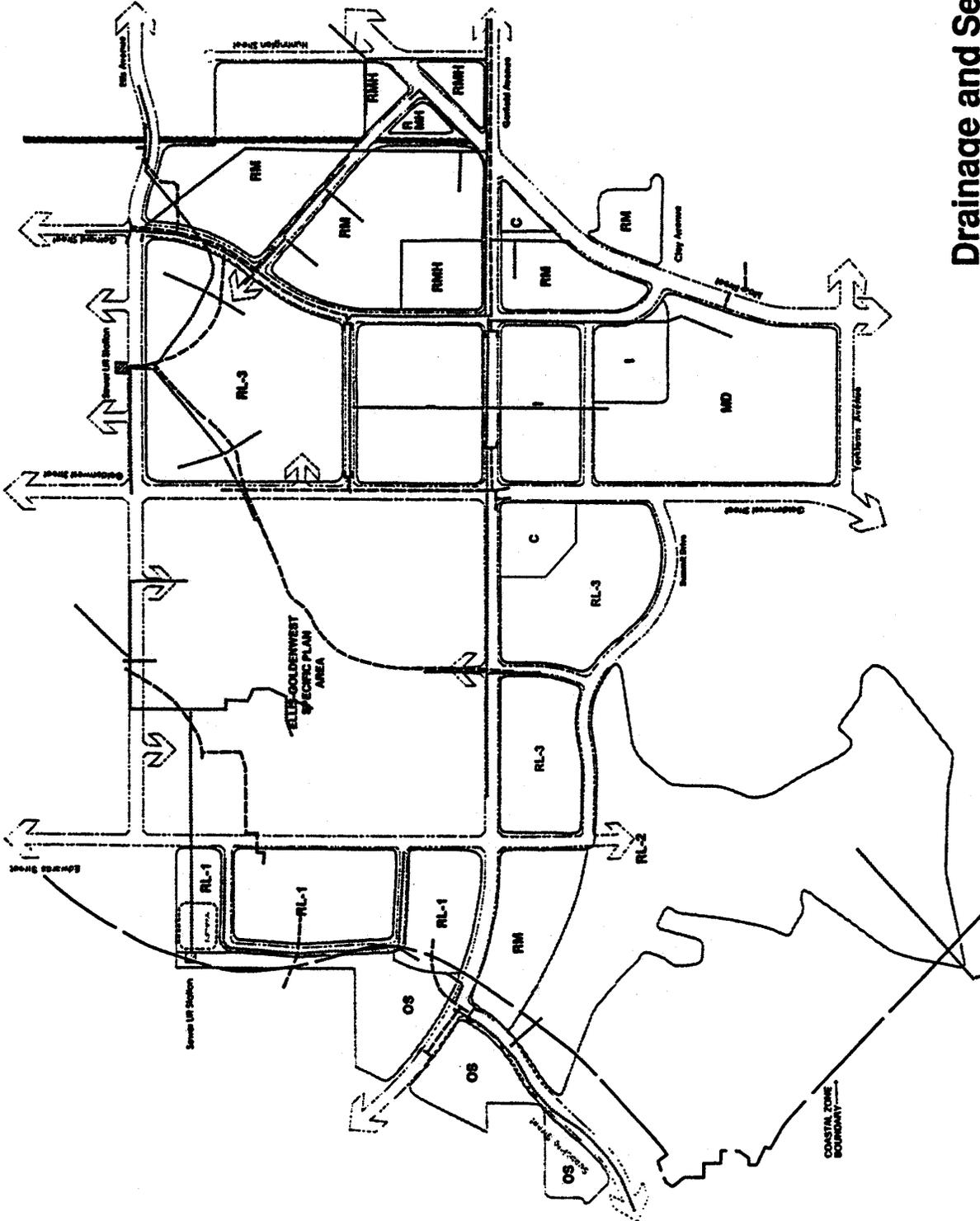


EXHIBIT 10
Drainage and Sewer Systems
INFRASTRUCTURE SCHEMATIC PLAN
 4/11/11

CITY OF HUNTINGTON BEACH
HOLLY-SEACLIFF AREA SPECIFIC PLAN

The fourth drainage area consists of flows leaving the project area through the southeast portion of the site. Flows from this area will be transported off the site via an extended storm drain system in Garfield or through the developed areas of the Pacific Ranch project.

Developers shall be responsible for the construction or funding of drainage facilities within their project and/or off-site facilities necessary to serve the development. If a developer is required to construct or to oversize these facilities beyond their fair-share to serve other projects, the developer shall enter into a reimbursement agreement with the City.

Storm drain system improvement requirements and design criteria may be found in the Holly-Seacliff Specific Plan Technical Appendix.

b. Sewer Facilities

Existing sewer facilities for the project area are maintained by the City of Huntington Beach, Public Works Department and the Sanitation District of Orange County, District Nos. 3 and 11. The City's Master Plan of Sewers indicates that four major trunk lines and one City pump station will be required to ultimately collect and convey sewerage from the project area.

Generally, sewer lines 8-inches in diameter and smaller, required for interior streets and individual developments, will be the responsibility of developers on a project-by-project basis.

Developers shall be responsible for the construction or funding of sewer facilities within their project and/or off-site facilities necessary to serve the development. If a developer is required to construct or to oversize these facilities beyond their fair-share to serve other projects, the developer shall enter into a reimbursement agreement with the City.

Sewer system improvement requirements and design criteria may be found in the Holly-Seacliff Specific Plan Technical Appendix.

c. Water Facilities

The majority of the project area lies within the Reservoir Hill Assessment District, which operates as part of the City of Huntington Beach Water System. Although development throughout this district is currently minimal, main lines and transmission lines to service this entire area have been installed as part of this District. Because the existing booster station near Clay Avenue and Goldenwest Street is operating at capacity, plans have been made for the construction of a new booster pump station near Huntington Street and Garfield Avenue.

To properly service the project site, some additional 12-inch water lines are required within the arterial highways. Other smaller water lines will also be necessary in local interior streets within the project to provide water service to internal lots.

To mitigate project impacts on the City's water system, a 9-million gallon reservoir, water well, booster pump and a major water transmission main will be constructed outside the Holly-Seacliff Specific Plan Area to provide adequate water service and storage capacity for the area.

Developers shall be responsible for the construction or funding of water facilities within their project and/or off-site facilities necessary to serve the development. If a developer is required to construct or to oversize these facilities beyond their fair-share to serve other projects, the developer shall enter into a reimbursement agreement with the City.

Water system improvement requirements and design criteria may be found in the Holly-Seacliff Specific Plan Technical Appendix.

d. Fire and Emergency Medical/Police

As mitigation of project-related impacts, a Public Safety Facility (Talbert Station) will be constructed, furnished and equipped with fire and medical apparatus. The facility will be constructed on land provided by the City outside of the Specific Plan Area.

A police substation will also be constructed, furnished and equipped as part of the Public Safety Facility. The Specific Plan requires participation by developers in a fair-share funding program for these facilities.

e. Reclaimed Water

The City of Huntington Beach Water Master Plan proposes the use of reclaimed water for irrigation purposes. The City of Huntington Beach Public Works Department, Water Division, is currently coordinating with the Orange County Water District (OCWD) for a supply of reclaimed water to serve portions of the City. It is anticipated that the City will be served via inclusion in OCWD's proposed Green Acres Reclamation Facilities Project (GAP).

The possible use of reclaimed water for some irrigated areas should decrease the future use of potable water throughout the developed Holly-Seacliff area. Should the City implement and connect to the Green Acres system of reclaimed water, such a system can be used to irrigate major open space features only, such as landscaped medians, parkways and parks, using County-provided water.

Developers shall be responsible for the construction or funding of reclaimed water facilities necessary to serve the development. If a developer is required to construct or to oversize these facilities beyond their fair-share to serve other projects, the developer shall enter into a reimbursement agreement with the City.

Reclaimed water system improvement requirements and design criteria may be found in the Holly-Seacliff Specific Plan Technical Appendix.

f. Parks

The proposed linear park areas in Planning Areas I and III will be dedicated; and neighborhood parks in Planning Areas II and III will be improved as provided for in the Holly-Seacliff Development Agreement. Properties not included in the Development Agreement will be subject to the City Park Acquisition and Development Fee Ordinance.

g. Library Facilities

Public library facilities are provided by the City of Huntington Beach approximately one-half mile north of the Specific Plan Area. All new development is assessed for library services through the payment of a cultural enrichment fee at the issuance of building permits.

h. Schools

The Specific Plan Area is located within the Huntington Beach City School District (Grades K-8) and the Huntington Beach Union High School District (Grades 9-12). All development within the Specific Plan Area is subject to the payment of school impact fees at the time of issuance of building permits, in accordance with Government Code Section 53080. School facility impact mitigation measures per Final Environmental Impact Report No. 89-1 shall be applied to development within the Specific Plan Area (see Section VI).

Schools shall be permitted in any Planning Area within the Specific Plan in order to accommodate elementary students generated by the development of the Specific Plan and surrounding areas. A potential school site within the Specific Plan boundaries may be established by means of a general plan amendment.

Any new school facility shall be developed in accordance with the construction and planning standards and requirements of the City of Huntington Beach, the Huntington Beach City School District, the State of California Architects Office and the State of California Department of Education.

In order to comply with mitigation measures identified in Environmental Impact Report No. 89-1, proposed future development within the Specific Plan may be required to dedicate and convey land to the school district, pay additional school impact fees and/or provide other revenues to facilitate the financing of construction and land for new school facilities. In addition, mitigation may be achieved by providing new or existing permanent or temporary classroom facilities.

Compliance with the above shall be addressed concurrent with the filing of the first tentative tract map. The developer shall demonstrate to the City's satisfaction and upon receipt of the School District's review that the mitigation measures identified in Final Environmental Impact Report No. 89-1 have been or will be implemented prior to the approval of any tentative tract maps.

A School Facilities Impact Mitigation and Reimbursement Agreement shall be a condition of approval for any subdivision, tentative tract, or parcel map within the Specific Plan. The Agreement shall provide for the adequate mitigation of impacts on the elementary school district by providing adequate funding of school facilities necessary to serve the student population generated by the proposed development. This condition may be waived by the Board of Trustees of the Huntington Beach City School District.

2. Utilities

There are several public utility service providers identified by the Holly-Seacliff Specific Plan. Although adequate facilities exist for the current service needs of the Holly-Seacliff area, additional facilities may be required as development occurs.

a. Electricity

Electrical service to the area is provided by the Southern California Edison Company. Existing transmission and distribution lines are adequate to service current and potential future needs. Developers may be required to relocate or underground existing facilities concurrent with project development.

b. Natural Gas

Natural gas service in the Specific Plan Area is provided by the Southern California Gas Company. Adequate facilities exist for current and projected future needs. Developers may be required to relocate existing facilities concurrent with project development.

c. Telephone

Telephone service in the Specific Plan Area is provided by General Telephone (GTE). Developers should coordinate with GTE for the relocation of existing facilities and installation of new service.

d. Cable Television

Cable television service within Huntington Beach is provided by Paragon Cable. Developers should coordinate with Paragon Cable for the installation of new service.

e. Solid Waste Disposal

Rainbow Disposal Company currently provides solid waste disposal services for the Holly-Seacliff area. Based on service projections and anticipated demand increase, an adequate level of service will be maintained. No solid waste disposal facilities are planned to be located in Specific Plan Area.

G. Community Theme Guidelines

The Community Theme Guidelines are intended to provide for the development of neighborhoods, open spaces, buildings and streetscapes having a distinctive visual identity to promote individual neighborhood identities and to promote interrelationships between complementary land uses and community open space features.

The major elements of the Community Theme Plan include landscaping, walls, signage and monumentation, street furniture and open space/pedestrian linkage features as described below. Exhibit 12 illustrates the general location of required community landscaping and monumentation. All development proposals within the Specific Plan area shall conform to the community theme guidelines and shall incorporate appropriate community theme elements.

Concurrent with the filing of the first tentative tract map in the Specific Plan area, Community Design Guidelines shall be submitted which will address pedestrian linkages between planning areas, design and function of the swales, type of street furniture and greater definition of neighborhoods.

1. Landscaping

- Landscaping shall be provided as outlined below, subject to the following general criteria:
- Plant materials will consist of low-maintenance trees, shrubs and ground covers approved by the City of Huntington Beach.
- In graded areas and public open space areas where structures or other improvements are not built, landscaping should consider the use of native or naturalized drought tolerant species which can provide wildlife habitat, with a gradual transition to more ornamental species along the development edge.
- The landscaping of development within the plan should be designed to minimize visual impacts of adjacent parcels. Special consideration should be given to orientation of residences (particularly windows and decks) to respect the privacy of adjacent residents to the extent feasible.
- All landscaped medians located within arterial streets shall be maintained by the City of Huntington Beach, provided medians are designed and constructed per City standards and approval. All other landscaping improvements shall be maintained by a landscape maintenance district, community association, homeowners association or other method acceptable to the City.

a. Arterial Highway Medians

- Landscaped medians shall be provided along Goldenwest Street, Gothard Street between Ellis Avenue and Ernest Avenue, Main Street, Seapoint Street and Garfield Avenue where approved by the City.
- *Washingtonia robusta* (Mexican Fan Palm) shall be planted in informal groupings in all medians throughout the specific plan area.
- Flowering shrubs and ground cover will accent the palm groupings.
- Main Street median planting will consist of the existing mix of *Washingtonia robusta* and *Phoenix canariensis* (Canary Island Date Palm).

b. Community Gateways

- A minimum 25 foot landscape area (measured from curb face) shall be provided at community gateway locations identified on Exhibit 12 for appropriate landscaping and community monumentation.
- *Phoenix canariensis* (Canary Island Date Palm), *Phoenix dactylifera* (Date Palm), *Washingtonia robusta* (Mexican Fan Palm) in clusters, *Erythrina caffra* (Coral Tree), *Chamaerops humilis* (Mediterranean Fan Palm) or other City-approved tree, at varying heights.
- Broadleaf evergreen understory planting.
- Community identification monumentation accented with flowering ground cover.

c. Major Intersections

- A minimum 25 foot landscape area (measured from curb face) shall be provided at major intersections identified on Exhibit 12 for enhanced landscape treatment.
- *Phoenix canariensis* (Canary Island Date Palm), *Phoenix dactylifera* (Date Palm), *Washingtonia robusta* (Mexican Fan Palm) in clusters, *Erythrina caffra* (Coral Tree), *Chamaerops humilis* (Mediterranean Fan Palm) or other City-approved tree, at varying heights.

- Broadleaf evergreen understory planting.

d. Streetscape/Street Identity Trees

- A minimum 15 foot landscape area shall be provided along all arterial highways within the specific plan area for appropriate parkway landscaping. Along Main Street, the 15 foot landscape area shall consist of 6 feet of public right-of-way and a 9 foot private landscape easement. Typical landscaped street sections are found on Exhibits 13, 14 and 15.
- The parkways for each street shall consist of informally-spaced groups of two tree varieties from the list below:

<u>Botanical Name</u>	<u>Common Name</u>
Brachychiton acerifolius	Flame Tree
Casuarina cunninghamiana	River She-Oak
Cupaniopsis anacardiodes	Carrotwood
Eucalyptus ficifolia	Red Flowering Gum
Eucalyptus sideroxylon rosea	Red Iron Bark Gum
Ficus rubiginosa	Rusty Leaf Fig
Koelreuteria bipinnata	Chinese Flame Tree
Magnolia grandiflora "Samuel Sommer"	Samuel Sommer Magnolia
Melaleuca quinquenervia	Cajeput Tree
Pinus canariensis	Canary Island Pine
Pinus eldarica	Mondel Pine
Pinus sylvestris	Erect Scotch Pine
Pistacia atlantica	Mt. Atlas Pistache
Platanus acerifolia	London Plane Tree
Podocarpus gracilior	Fern Pine
Schinus molle	California Pepper

EXISTING PALM TREES @ MEDIAN

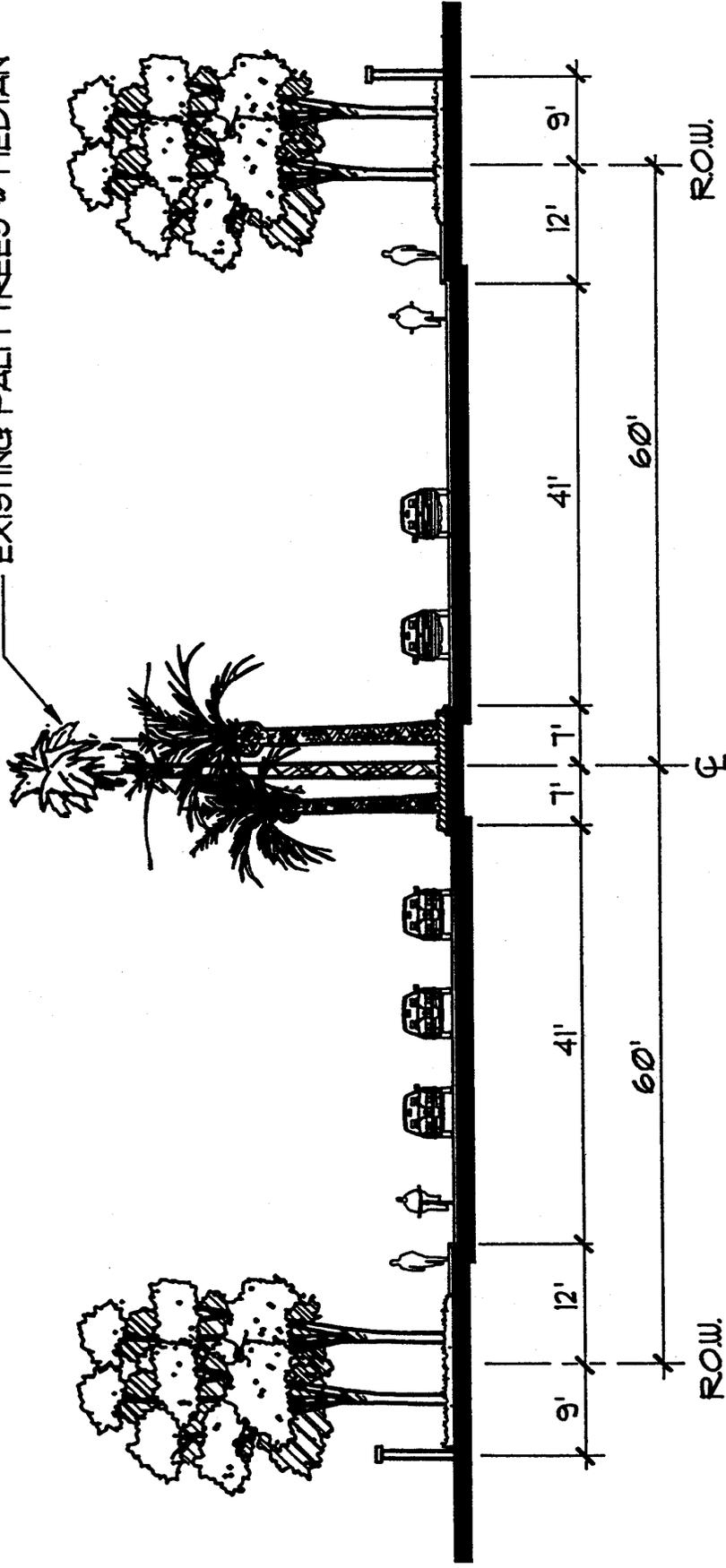


EXHIBIT 13

MAIN STREET

Looking North, between Huntington and Clay

120' R.O.W. STREET SECTION

CITY OF HUNTINGTON BEACH

HOLLY SEACLIFF AREA SPECIFIC PLAN

||||| 5 10 15

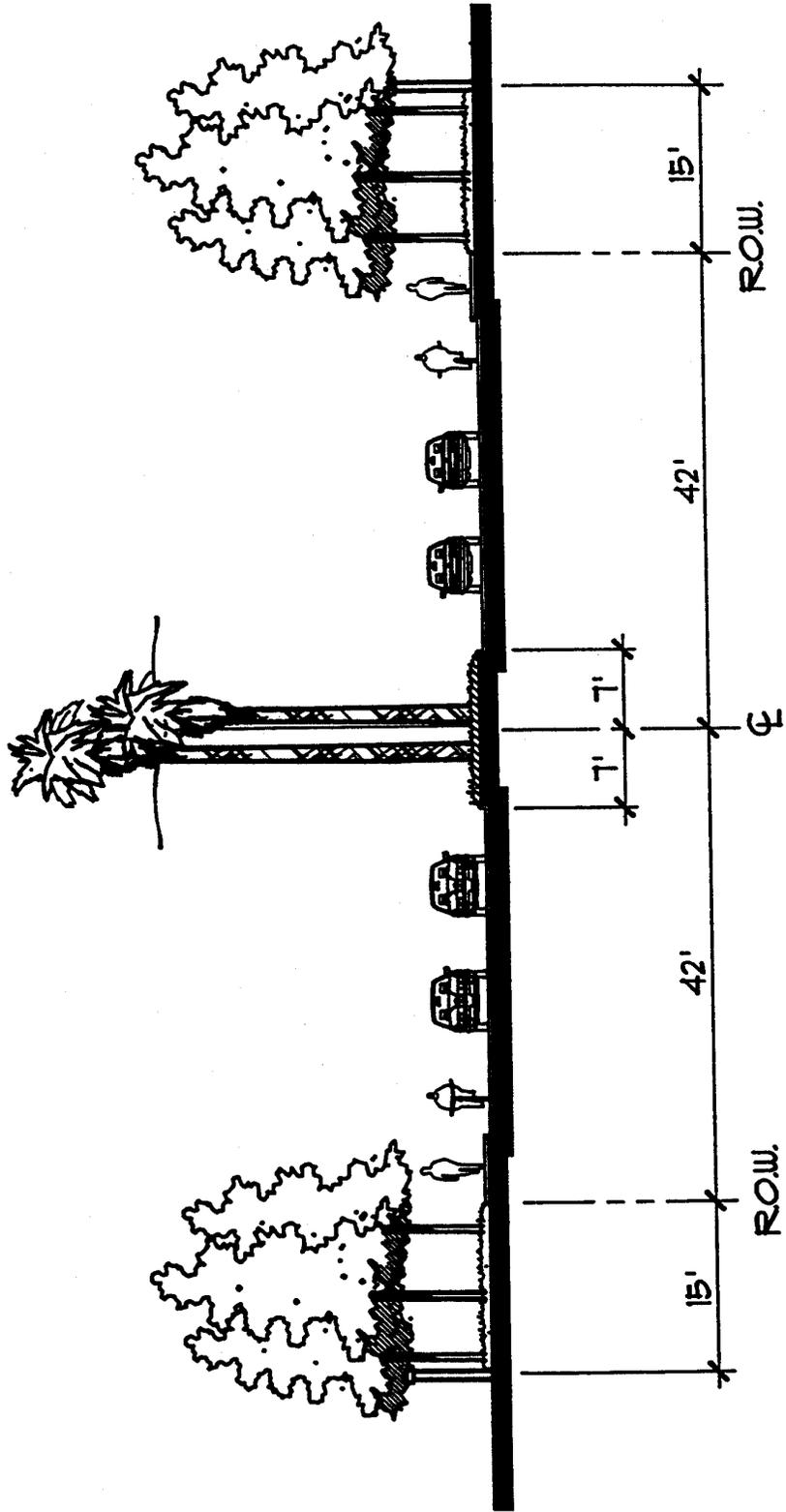


EXHIBIT 15

GOTHARD STREET
Looking North, between Ellis and Ernest
84' R.O.W. STREET SECTION

CITY OF HUNTINGTON BEACH

HOLLY SEACLIFF AREA SPECIFIC PLAN

0 5 10 15

- e. Neighborhood Entries
 - A minimum 20 foot landscape area (measured from curb face) shall be provided at each neighborhood entry.
 - The accent trees at each neighborhood entry are to be repeated throughout the neighborhood streetscape.
 - Neighborhood identification sign/wall.
 - Tree, shrub and ground cover species will be consistent with neighborhood character and architectural theme, and will contrast with the adjacent arterial street tree.

2. Walls, Signage and Monumentation

- a. All single-family residential and industrial areas along an arterial highway shall be screened by a minimum six-foot high solid masonry wall.
- b. The design and materials of residential walls shall be consistent within each planning unit.
- c. Community walls will vary by neighborhood and reflect neighborhood theme and architecture, while utilizing the same materials in varied combinations for a consistent community image. These materials may consist of stone, brick, decorative block or tubular steel in different combinations for each of the individual neighborhoods.
- d. The horizontal form of continuous solid walls shall be softened by the use of pilasters or landscape materials.
- e. Multiple-family residential areas may be screened by a combination of solid and open fencing materials.
- f. The location, design and materials for all walls facing an arterial highway within the Specific Plan area shall be subject to approval of the Director of Community Development.
- g. All proposed signs with the Specific Plan shall conform with the Sign Ordinance of the Huntington Beach Ordinance Code.
- h. A monument sign or other architectural feature shall be constructed within the landscaped setback area of all Community Gateway locations identified on Exhibit 12.
- i. Neighborhood entry signs shall be located within the landscaped setback area for each neighborhood entry.

- j. Commercial, industrial and mixed-use project identification signs may be located within the landscaped setback area adjacent to an arterial highway.
- k. The location, design and materials for all proposed community gateway, neighborhood entry and project identification signs shall be subject to the approval of the Director of Community Development.

3. Street Furniture

- a. Street lighting may be placed within arterial medians or within adjoining sidewalk and setback areas.
- b. Street lighting should be standardized throughout the Specific Plan area. Street lighting along arterials shall be of Marbelite Cobra Head type and 30 feet in height. Street lighting along local streets shall be of Marbelite Cobra Head type and 25 feet in height. Street lighting may have custom decorative features within Planning Areas if approved by the City.
- c. Bus stops and shelters shall be provided in the locations identified on Exhibit 12.
- d. The design of any proposed bus shelters shall be reviewed by the Orange County Transit District and approved by the Director of Community Development.

4. Open Space/Pedestrian Linkages

The Specific Plan incorporates and is surrounded by numerous significant open space and recreational features, including Huntington Central Park, the Bolsa Chica Linear Regional Park and neighborhood parks. The following guidelines are intended to maximize the interrelationship of land uses within the Specific Plan area to both internal and external community amenities.

- a. Bicycle lanes shall be provided on all arterial highways within the Specific Plan area.
- b. Bicycle lanes shall be connected to recreational trails within public and private park and open space areas at locations deemed appropriate by the Director of Public Works.
- c. Sidewalks shall be provided adjacent to all arterial highways within the Specific Plan area.

- d. Sidewalks shall be connected to pedestrian trails located within public and private park and open space areas where feasible.
- e. Pedestrian access shall be provided to all neighborhood commercial areas from adjacent residential neighborhoods to discourage unnecessary automobile trips.
- f. Residential, commercial, industrial and mixed-use projects shall be designed to encourage pedestrian and bicycle access as well as automobile access.
- g. Where feasible, pedestrian access should be provided between adjoining residential projects.
- h. Bus stops and shelters shall be provided as indicated on Exhibit 12 to facilitate public transportation within the Specific Plan area.

