



City of Huntington Beach Planning Department
STUDY SESSION REPORT

TO: Planning Commission
FROM: Scott Hess, AICP, Director of Planning
BY: Rami Talleh, Senior Planner
DATE: September 9, 2008

SUBJECT: **COASTAL DEVELOPMENT PERMIT NO. 08-005/ CONDITIONAL USE PERMIT NO. 08-011 WITH SPECIAL PERMIT NO. 08-002/ VARIANCE NO. 08-006/ MITIGATED NEGATIVE DECLARATION NO. 08-011 (Pacific View Mixed Use Building)**

LOCATION: 620 Pacific Coast Highway, 92648 (Northeast corner of Pacific Coast Highway and Seventh St.)

PROJECT REQUEST AND SPECIAL CONSIDERATIONS

The proposed project is a request to construct a four-story, 35 ft. tall, 12,898 sq. ft. mixed-use, visitor-serving/residential mixed-use development. The proposed uses within the project would include 4,261 sq. ft. of visitor serving commercial space on the ground floor and seven residential units consisting of 4,334 sq. ft. on the second floor (four units) and 4,303 sq. ft. on the third floor (three units). The project includes a request for a variance to allow a fourth floor in lieu of the maximum allowed number of three floors for purposes of providing common open space within a roof top deck. In addition, the project includes special permit requests to allow the following:

- An 11 ft. to 18 ft. front yard setback in lieu of the minimum required 25 ft. landscaped setback.
- A six foot upper story setback along the Pacific Coast Highway frontage in lieu of a minimum average of 10 ft. upper story setback.
- An 8 ft to 10 ft. exterior (street) side yard setback in lieu of the minimum required 15 ft. landscaped setback.
- A 0 ft. foot upper story setback along the 7th street frontage in lieu of a minimum average of 10 ft. upper story setback.
- A 5 ft. interior side yard setback in lieu of the minimum required 7 ft. setback, and
- A slope of 15% in lieu of the maximum allowed slope of 10% for parking garages transition ramps.

Parking is proposed in a two-level, 40-space subterranean parking garage located beneath the proposed structure. Additionally, six spaces of surface level parking are proposed at the rear of the building along the alley.

CURRENT LAND USE, HISTORY OF SITE, ZONING AND GENERAL PLAN DESIGNATIONS

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Property:	MV-F8-sp-d (Mixed Use Vertical – 1.5 Max. Floor Area Ratio/ 25 Dwelling Units per Acre – Specific Plan Overlay – design Overlay)	SP5 - CZ (Downtown Specific Plan – Coastal Zone)	Vacant
North of Subject Property (across Alley):	RH 30-d-sp (Residential High Density – 35 Dwelling Units per Acre – Specific Plan Overlay – Design Overlay)	SP5 - CZ	Multi-family residential
East of Subject Property:	MV-F8-sp-d	SP5 - CZ	Commercial
South of Subject Property: (across PCH)	OS-S (Open Space – Shore)	SP5 - CZ	Beach parking
West of Subject Property: (across Seventh Street)	MV-F8-sp-d	SP5 - CZ	Retail/Office

APPLICATION PROCESS AND TIMELINES

DATE OF COMPLETE APPLICATION:

June 30, 2008

MANDATORY PROCESSING DATE(S):

Mitigated Negative Declaration: December 27, 2008 (180 days)

Coastal Development, Conditional Use Permit with Special Permit, and Variance: Within 60 days from Mitigated Negative Declaration Approval

Coastal Development Permit No. 08-005 and Conditional Use Permit No. 08-036 with Special Permit No. 08-002 were filed on March 10, 2008 and Environmental Assessment No. 08-011 and Variance No. 08-006 were filed on June 5, 2008. The entitlements were deemed complete June 30, 2008. The application is tentatively scheduled for the Planning Commission meeting of September 23, 2008.

CEQA ANALYSIS/REVIEW

Mitigated Negative Declaration No. 08-011 analyzes the potential environmental impacts associated with implementation of the proposed project. Staff determined that no potentially significant impacts are anticipated that could not be mitigated to a level of insignificance. MND No. 08-011 identifies issues related to Geology/Soils, Hydrology/Water Quality, and Hazards and Hazardous Materials and suggests three mitigation measures to render those impacts less than significant. On August 4, 2008 the Environmental Assess-

ment Committee reviewed Environmental Assessment No. 08-011 and approved the processing of a mitigated negative declaration. The Planning Department advertised draft Mitigated Negative Declaration No. 08-011 for 30 days commencing on Thursday, August 7, 2008, and ending Friday, September 5, 2008. As of September 2, 2008, one comment letter was received from a neighboring resident. The letter identified concerns pertaining to the variance request for the fourth floor deck and special permits for reduced setbacks (Attachment No. 6). Staff will prepare a response to the comment letter received as part of the Planning Commission staff report.

COMMENTS FROM CITY DEPARTMENTS AND OTHER PUBLIC AGENCIES

The Departments of Fire, Public Works, and Planning have reviewed the application and identified applicable code requirements. The Code Requirements letter was transmitted on August 29, 2008 and is attached for informational purposes (Attachment No. 5). In addition, the Public Works Department recommended the following suggested conditions of approval (Attachment No. 2):

- The underground parking structure shall be prohibited from encroaching onto adjacent properties and alley right-of-way.
- Underground utilities on the project site shall be field verified by an engineer.
- Construction method for shoring/tie back for the foundation construction shall be submitted for review and approval by the Department of Public Works.
- A raised median shall be constructed within the Pacific Coast Highway right-of-way.
- An encroachment permit from Caltrans for work within the Caltrans right-of-way shall be obtained by the applicant.

The Police Department also recommended the following suggested conditions of approval (Attachment No. 2):

- An antenna shall be installed within the underground parking structure to relay Police and Fire Department radio transmissions.
- Lighting in the parking structure shall be placed over and in between parking stalls.
- Security cameras shall be installed at the entrance/exit of the parking structure, elevators, and stairwells.
- Elevators and stairwells shall be adequately lighted.

PUBLIC MEETINGS, COMMENTS AND CONCERNS

The project was reviewed by the Design Review Board (DRB) on May 8, 2008, May 29, 2008, and June 12, 2008. The DRB recommended approval of the project with the following modifications:

- An architectural reveal shall be provided between the edge of the staircase enclosure and the balconies along the Seventh St. frontage from the first floor to the fourth floor.
- Landscaping shall be provided along the Seventh Street frontage.
- The tower feature shall either provide a five ft. setback on the third floor or be redesigned as a circular feature with a circular roof.

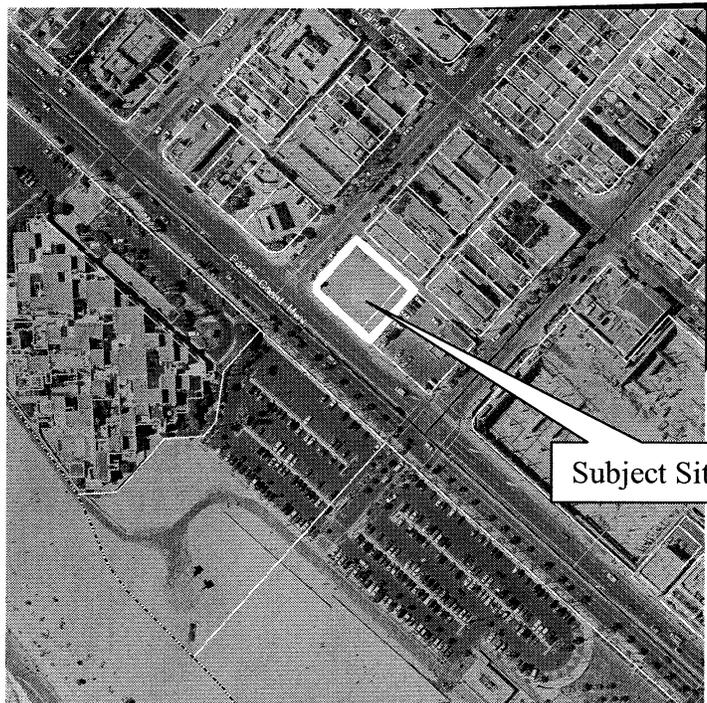
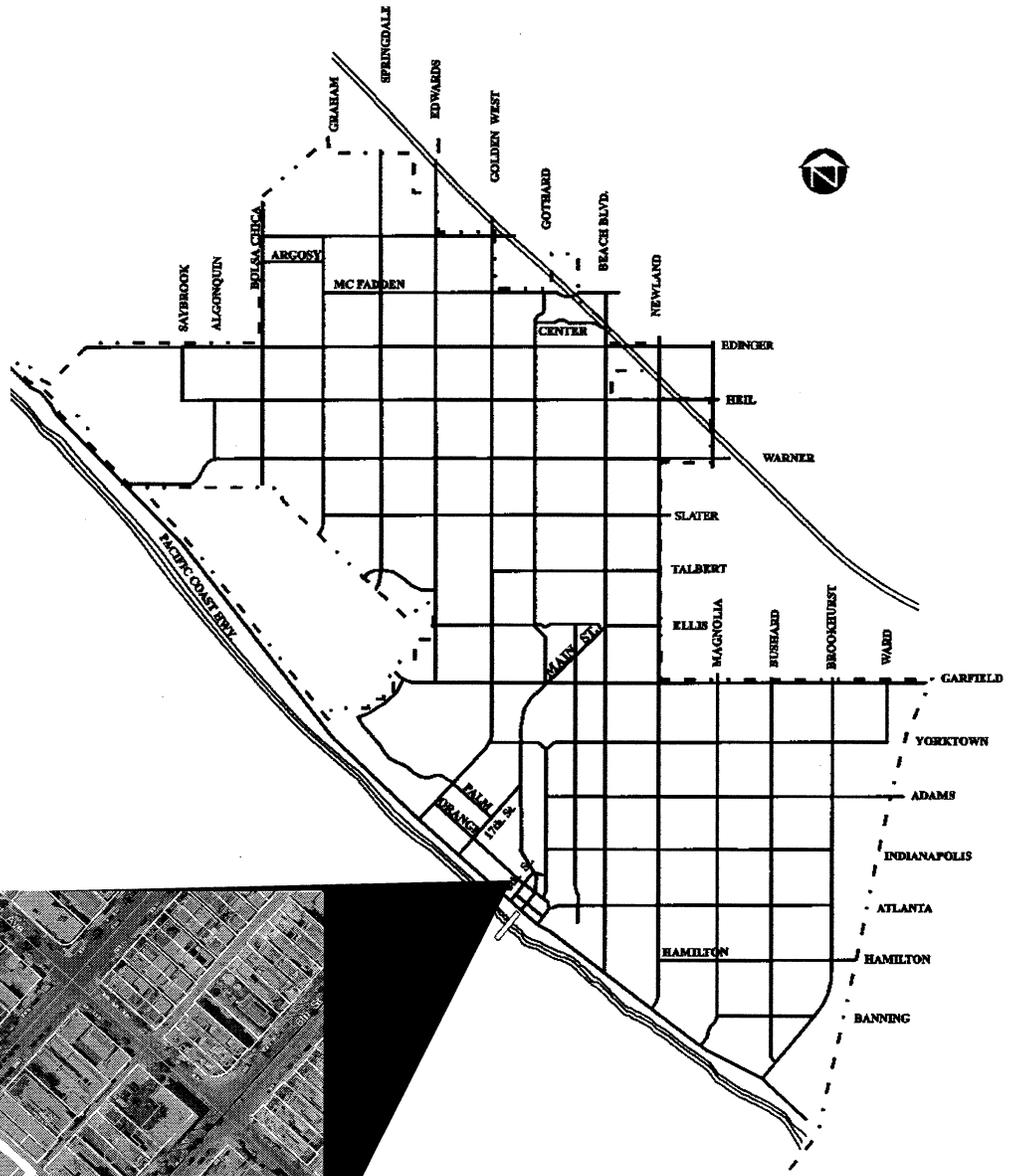
The applicant concurs with the first two DRB recommended modifications. However, the applicant has expressed concern with the recommendation to modify a square tower proposed at the southwest corner of the site. The applicant has indicated that providing a five ft. setback to the third floor of the tower will have an undesirable affect to the third floor plan. The applicant has also indicated that redesigning the tower as a circular feature will conflict with the south and west elevations of the building.

PLANNING ISSUES

The primary issues to consider in conjunction with this request are compatibility with the surrounding land uses, consistency with the General Plan, and compliance with the Downtown Specific Plan. The major site plan issues are the special permits for reduced front and side yard setbacks, reduced upper story setbacks, increased transition ramp slope, and a variance to permit a fourth floor deck.

ATTACHMENTS:

1. Vicinity Map
2. Public Works Department suggested conditions of approval dated August 29, 2008 and Police Department suggested conditions of approval dated March 30, 2008
3. Site plan, floor plan, and elevations received and dated June 11, 2008
4. Project Narrative dated March 10, 2008
5. Code Requirements Letter dated April 21, 2008 (for informational purposes only)
6. Letter of opposition



Subject Site

VICINITY MAP
COASTAL DEVELOPMENT PERMIT NO. 08-005/ CONDITIONAL USE PERMIT NO. 08-011
WITH SPECIAL PERMIT NO. 08-002/ VARIANCE NO. 08-006/
MITIGATED NEGATIVE DECLARATION NO. 08-011
(620 PACIFIC COAST HIGHWAY)



**HUNTINGTON BEACH
PUBLIC WORKS DEPARTMENT
SUGGESTED CONDITIONS OF APPROVAL**

DATE: APRIL 10, 2008
PROJECT NAME: PACIFIC VIEW MIXED USE BUILDING
ENTITLEMENTS: CDP NO. 2008-005, CUP NO. 2008-011, DR NO. 2008-011 AND SPECIAL PERMIT NO. 2008-002
PLNG APPLICATION NO: 2008-0050
DATE OF PLANS: MARCH 3, 2008
PROJECT LOCATION: 620 PACIFIC COAST HIGHWAY (NORTHEAST CORNER OF PACIFIC COAST HIGHWAY AND 7 TH STREETS)
PROJECT PLANNER: RAMI TALLEH, ASSOCIATE PLANNER
TELEPHONE/E-MAIL: 714-374-1682 / RTALLEH@SURFCITY-HB.ORG
PLAN REVIEWER: JAMES WAGNER, SENIOR CIVIL ENGINEER *JW*
TELEPHONE/E-MAIL: 714-536-5467 / JWAGNER@SURFCITY-HB.ORG
PROJECT DESCRIPTION: TO PERMIT THE DEVELOPMENT OF A 12,751 MIXED USE DEVELOPMENT CONSISTING OF RETAIL ON THE FIRST FLOOR AND RESIDENTIAL ON THE SECOND AND THIRD FLOOR.

**THE FOLLOWING CONDITIONS ARE REQUIRED TO BE COMPLETED PRIOR TO
ISSUANCE OF A GRADING PERMIT:**

1. The underground parking structure shoring and other structural elements, either temporary or permanent, shall not encroach into the public right-of-way (alley and street side of the project) and shall not encroach into the private properties to the east of the project unless written permission from the property owners is obtained and submitted to Public Works.
2. Underground utilities on the project site shall be field verified by engineer during the design phase and shall be submitted to Public Works.
3. Construction method for shoring/ tie back, etc. for the foundation construction and parking walls shall be submitted to Public Works for review and approval.
4. A raised median shall be constructed in PCH for a length approximately equal to the project frontage. Patterned, colored concrete shall be placed on both sides of the median at the curbs and landscape planting and irrigation shall be provided per plans submitted to and approved by the City of Huntington Beach. Median improvements shall require the removal of all soil under the existing PCH paving that shall be removed, to a 36" depth and importation of a City approved Class A topsoil that has been approved as agriculturally suitable by soil tests performed by the applicant or the material supplier. A separate irrigation controller, SCE meter pedestal, and water meter are required and shall be purchased and installed by the applicant. The

applicant shall be responsible for maintaining the median for 365 days after the initial installation and 30 day plant establishment period has been approved by the City. The applicant shall submit a separate set of landscape development plans to the City for approval prior to the applicant submitting final design plans to Cal Trans. Signing and striping shall be modified consistent with the new raised median. Final concept approval for median improvements shall be by Cal Trans and shall be determined prior to developing final landscape improvement plans. Median improvements shall be completed prior to building occupancy.

5. CALTRANS Encroachment permits for work within the CALTRANS right-of-way (for construction of sidewalks, curb and gutter, etc.) shall be obtained by the applicant or contractor from CALTRANS. A copy of each permit, traffic control plans and other permission granted by CALTRANS shall be transmitted to Public Works prior to start of work.



HUNTINGTON BEACH POLICE DEPARTMENT SUGGESTED CONDITIONS OF APPROVAL

DATE: MARCH 30, 2008
PROJECT NAME: PACIFIC VIEW MIXED USE BUILDING
PLANNER: RAMI TALLEH
PLANNING APP. NO.: PLANNING APPLICATION NO. 2008-0050
ENTITLEMENTS: COASTAL DEVELOPMENT PERMIT NO. 2008-005, CONDITIONAL USE PERMIT NO. 2008-011, DESIGN REVIEW NO. 2008-011 AND SPECIAL PERMIT NO. 2008-002
DATE OF PLANS: MARCH 3, 2008
PROJECT LOCATION: 620 PACIFIC COAST HIGHWAY (NORTHEAST CORNER OF PACIFIC COAST HIGHWAY AND 7TH STREET)
PLAN REVIEWER: JAN THOMAS
TELEPHONE/E-MAIL: (949) 348-8186 - JCKTHOMAS@COX.NET
PROJECT DESCRIPTION: TO PERMIT THE DEVELOPMENT OF A 12,751 MIXED USE DEVELOPMENT CONSISTING OF RETAIL ON THE FIRST FLOOR AND RESIDENTIAL ON THE SECOND AND THIRD FLOOR.

The following is a list of code requirements deemed applicable to the proposed project based on plans stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

SUGGESTED CONDITIONS OF APPROVAL

Garage radio transmittal:

The Police and Fire Department emergency radios may not be able to receive or transmit in the subterranean parking levels. If this is the case, it is imperative that an effective antenna be installed so that emergency personnel can receive/transmit in the parking structure. Please contact Jim Moore, City of Huntington Beach, Information Systems, at (714) 536-5943 for more information.

Parking structure lighting:

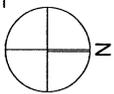
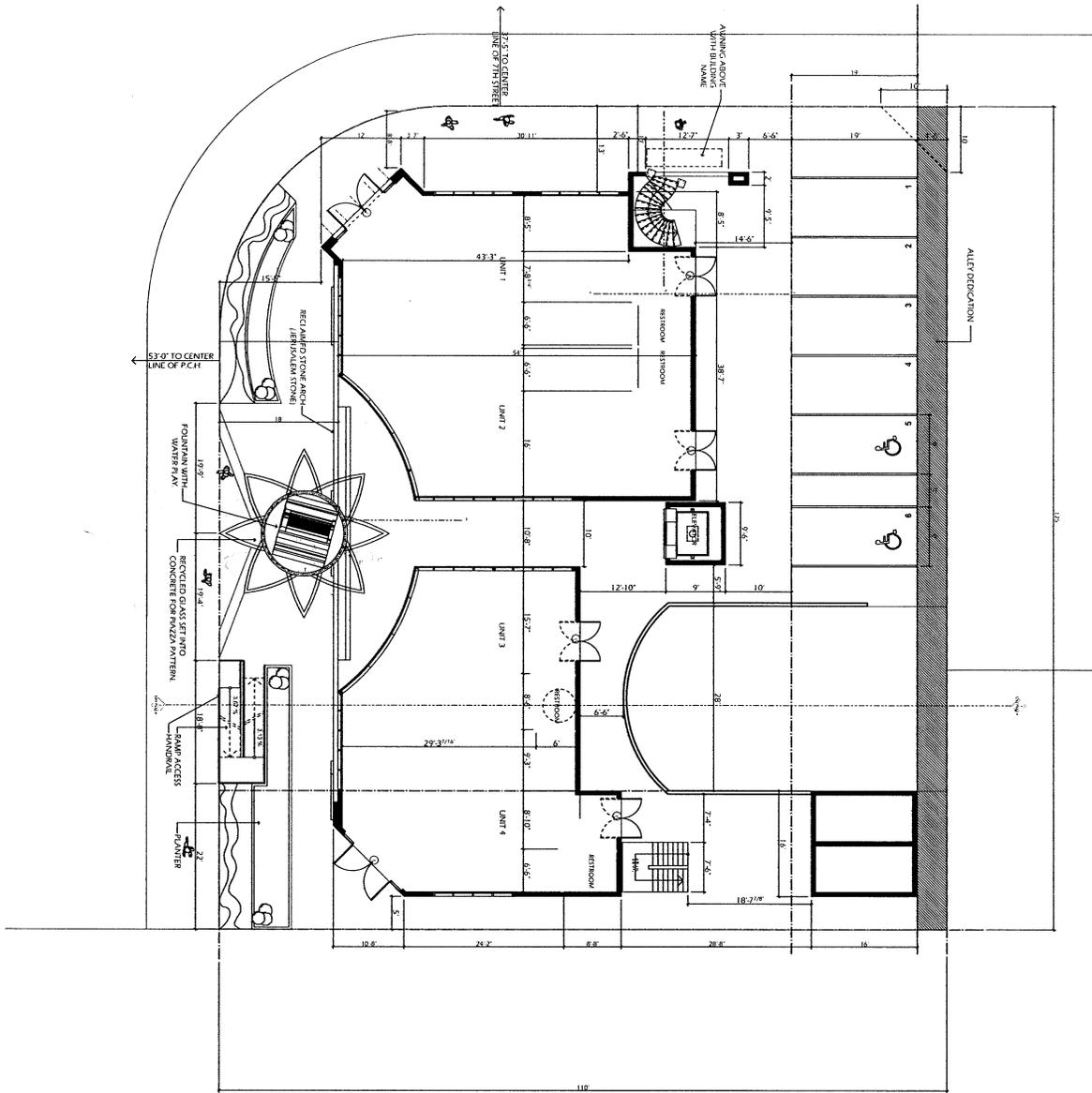
Lighting in parking structures should optimally be placed over and between the parked vehicles. Crimes mainly occur between vehicles; therefore, lighting is important and should focus in these areas. Lighting should also focus on pedestrian areas.

Parking garage and elevators:

Install a 24 hour-recorded camera at the entrance and exit of the parking garage. Ensure that the camera captures the license plate of each vehicle that enters and exits the structure.

Elevator areas and stairwells should be well lighted and recorded via surveillance cameras 24 hours a day, every day.

1 SITE PLAN
SCALE: 1/8" = 1'-0"



DATE	JUNE/TWO
PROJECT ARCHITECT	N. OHS
DESIGNER	E.M.
SCALE NUMBER	N.R.
Sheet Number	A-1.1
Total Sheet Count	1

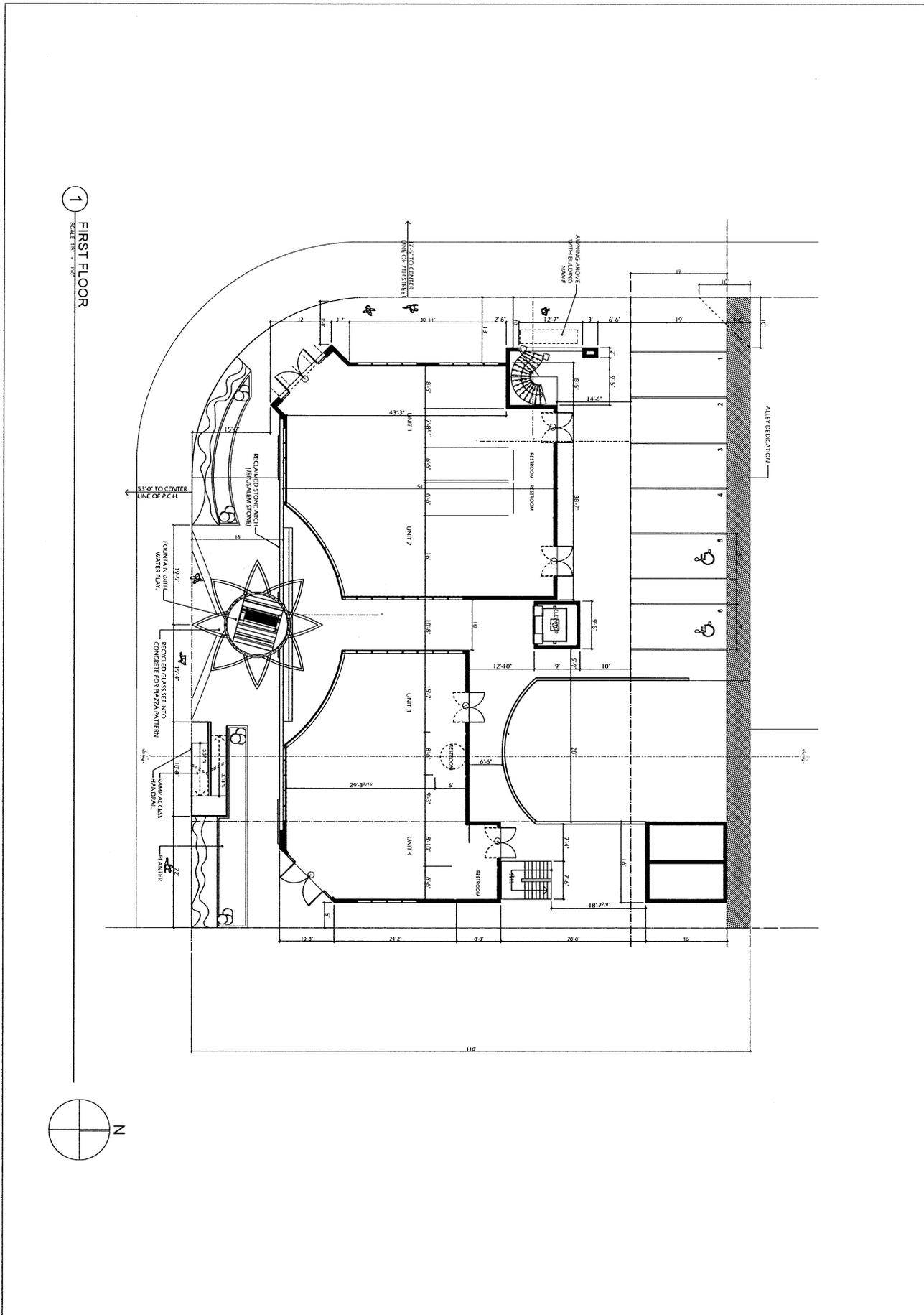
SITE PLAN

PACIFIC VIEW
612-620 PACIFIC COAST HIGHWAY
HUNTINGTON BEACH, CA. 92648



OTIS ARCHITECTURE INC.
16871 Sea Witch Lane
Huntington Beach, CA. 92649
(714) 846-0177 ph (714) 846-2817 fax
www.otisarchitecture.com

Revised	
By	
Check	
Date	



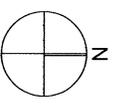
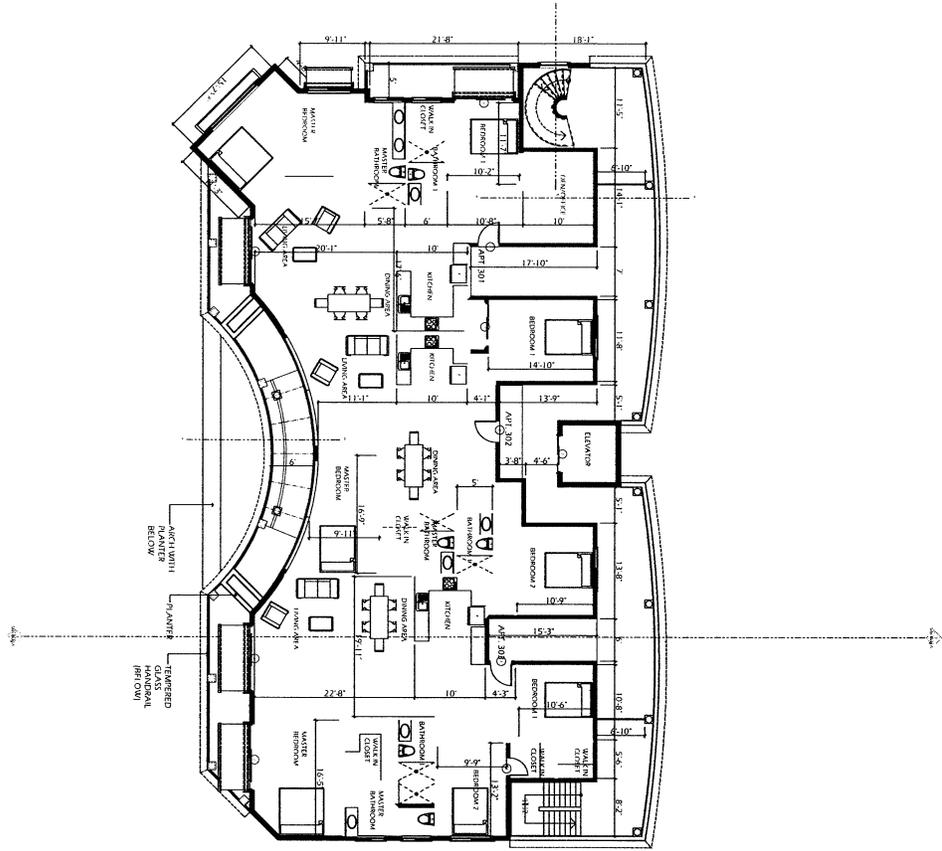
1 FIRST FLOOR
SCALE: 1/8" = 1'-0"



A-1.2 <small>Sheet Number</small>	DATE: JUNE 10/08 <small>Project Name</small> PACIFIC VIEW <small>Project Location</small> K. OHS <small>Scale</small> E.M. N.R. <small>Sheet Number</small>	FIRST FLOOR	PACIFIC VIEW 612-620 PACIFIC COAST HIGHWAY HUNTINGTON BEACH, CA. 92648		OTIS ARCHITECTURE INC. 16871 Sea Witch Lane Huntington Beach, CA. 92649 (714) 846-4177 ph (714) 846-2617 fax www.otisarchitecture.com	<small>Number</small> 1	<small>Scale</small> 1/8" = 1'-0"	<small>Notes</small>
						<small>Revision</small> 		

ATTACHMENT NO. 3.3

1 THIRD FLOOR
SCALE: 1/8" = 1'-0"

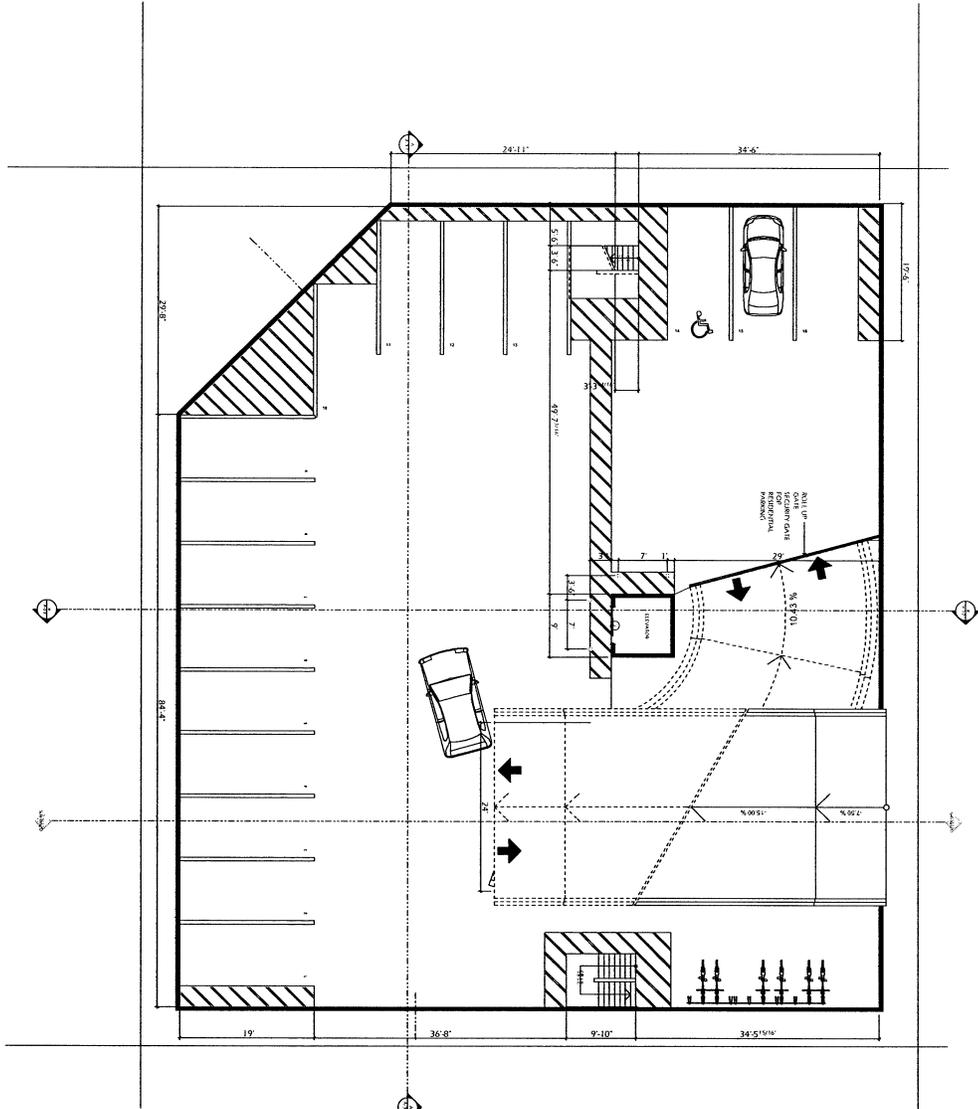


Title THIRD FLOOR	Project Name PACIFIC VIEW 612-620 PACIFIC COAST HIGHWAY HUNTINGTON BEACH, CA. 92648	Date JUNE/2008	Drawing Author N.ONS	Checked By E.M.	Scale N.R.	Sheet Number A-1.4	Revision No.
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OTIS ARCHITECTURE INC.
 16871 Sea Witch Lane
 Huntington Beach, CA. 92649
 (714) 846-8177 ph (714) 846-2817 fax
 www.otisarchitecture.com

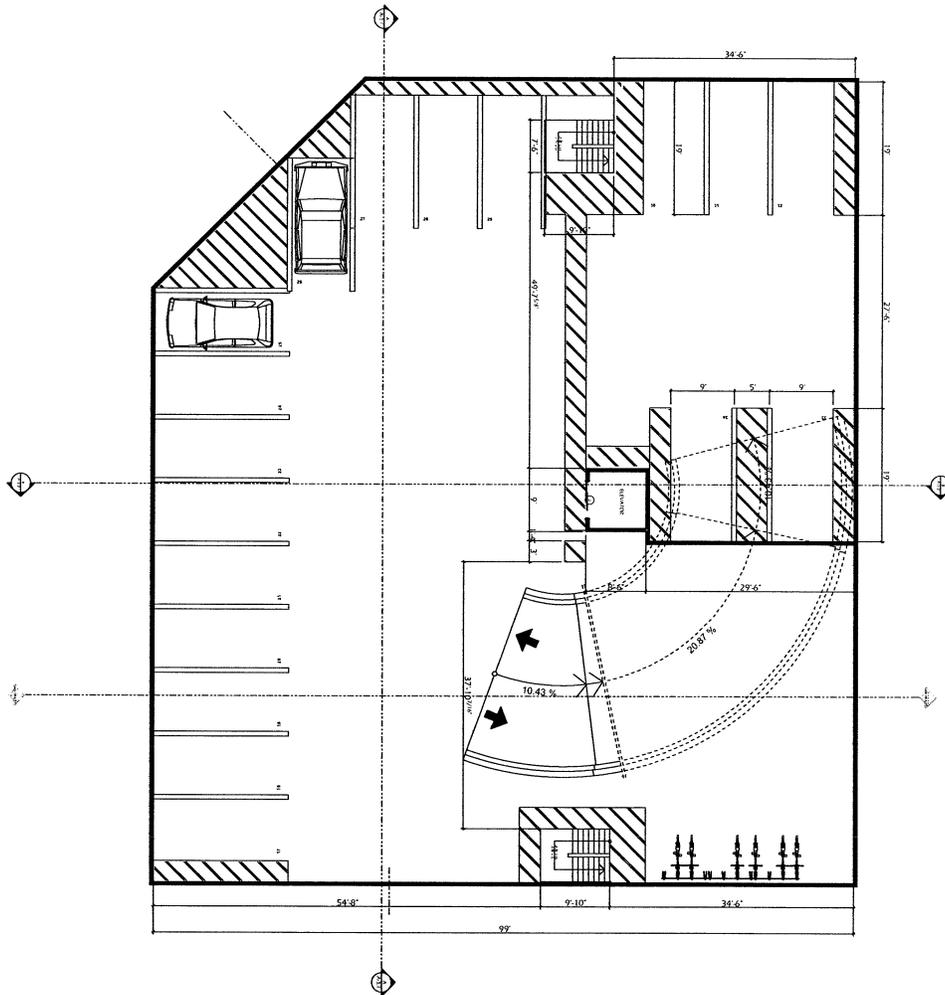
1 SUB-FLOOR ONE
SCALE: 1/4" = 1'-0"



A-1.6	DATE: 11/11/08	FIRST SUBFLOOR	PACIFIC VIEW 612-620 PACIFIC COAST HIGHWAY HUNTINGTON BEACH, CA. 92648	Otis Architecture Inc. 18671 Sea Witch Lane Huntington Beach, CA 92649 (714) 846-0177 pn (714) 846-2817 fax www.otisarchitecture.com	NO.	REV.
	BY: EJA				DATE:	NO.

ATTACHMENT NO. 37

Otis Architecture Inc.
 16871 Sea Witch Lane
 Huntington Beach, CA 92649
 (714) 386-6177
 www.otisarchitecture.com



A-1.7
 16871 SEA WITCH LANE
 HUNTINGTON BEACH, CA 92649

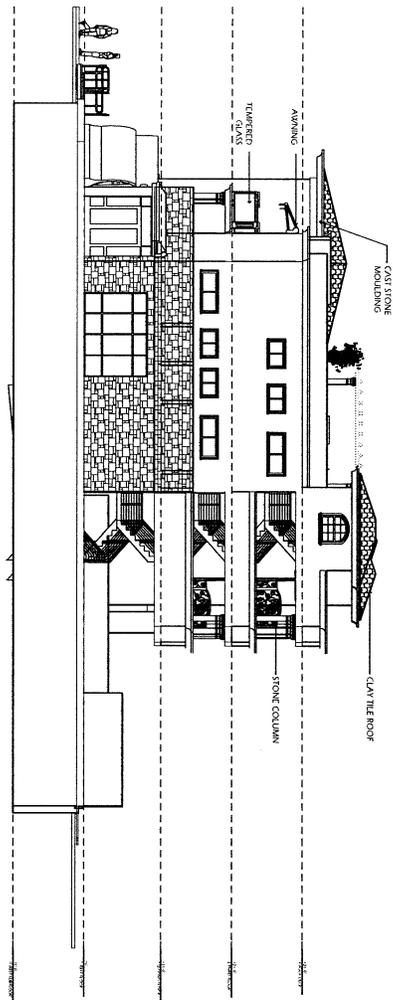
Project Name: PACIFIC VIEW
 Project No.: N-025
 Date: 01/14/17
 E.M.

SECOND SUBFLOOR

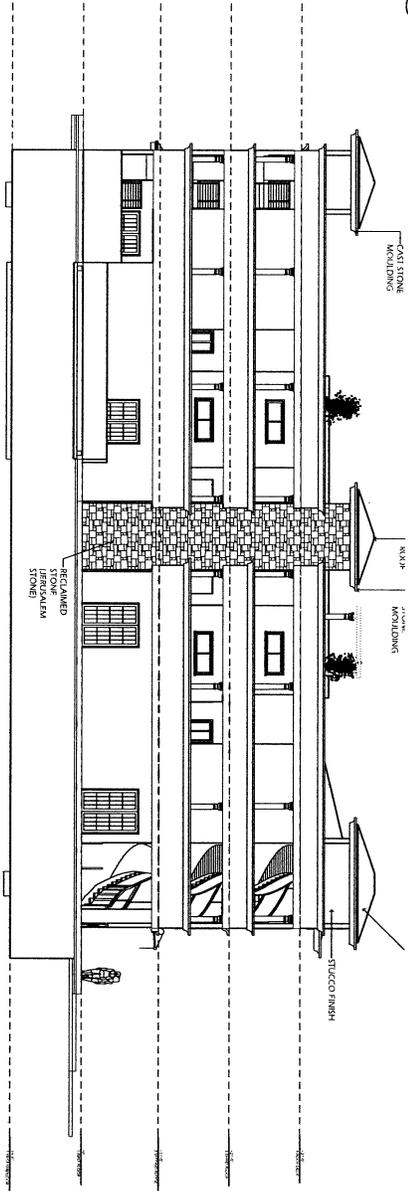
PACIFIC VIEW
 612-620 PACIFIC COAST HIGHWAY
 HUNTINGTON BEACH, CA. 92648

Otis Architecture Inc.
 16871 Sea Witch Lane
 Huntington Beach, CA 92649
 (714) 386-6177 or (714) 549-2811 fax
 www.otisarchitecture.com

ATTACHMENT NO. 3.8

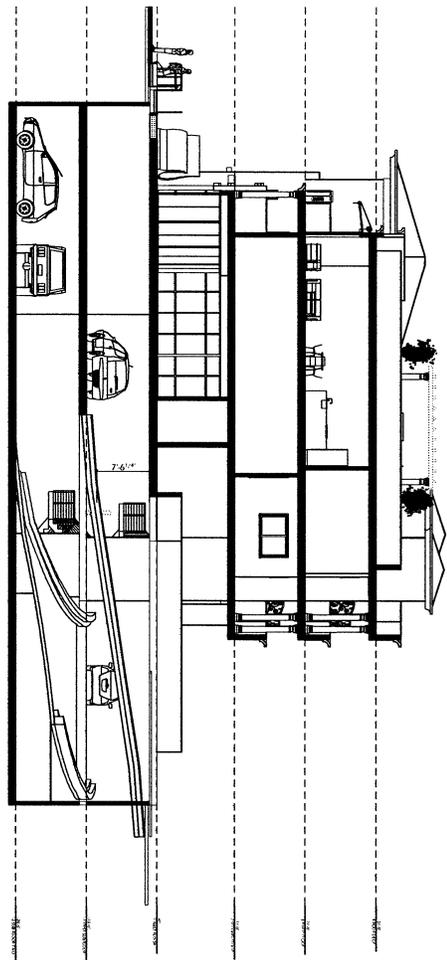


1 EAST ELEVATION
SCALE 1/8" = 1'-0"

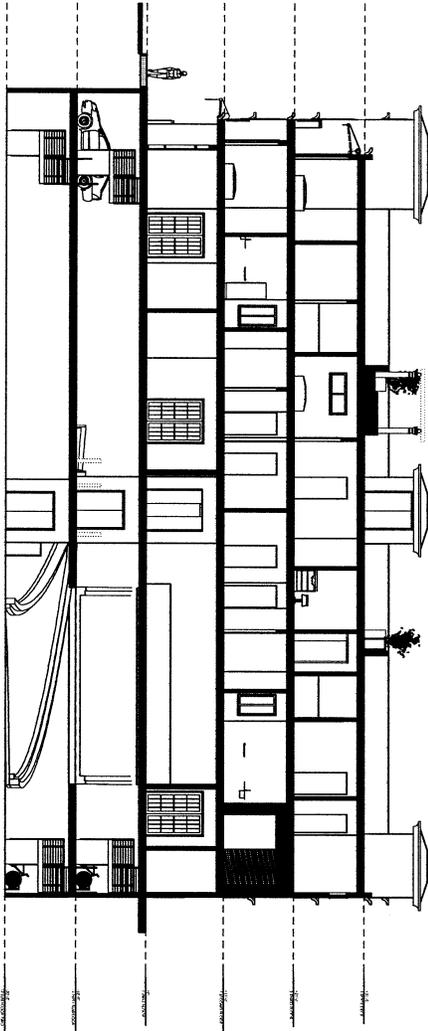


2 West Elevation
SCALE 1/8" = 1'-0"

Title ELEVATIONS	Date JUNE/2008	Prepared by K OLS	Drawn by E.M. N.R.	Scale A-2.2	Project Name PACIFIC VIEW 612-620 PACIFIC COAST HIGHWAY HUNTINGTON BEACH, CA. 92648		OTIS ARCHITECTURE INC. 16871 Sea Witch Lane Huntington Beach, CA. 92649 (714) 846-0177 ph (714) 846-2817 fax www.otisarchitecture.com	Revision 1
								Revision 2



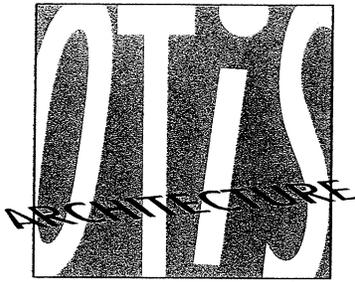
SECTION-A
SCALE: 1/8" = 1'-0"



SECTION-B
SCALE: 1/8" = 1'-0"

TITLE SECTIONS	PROJECT PACIFIC VIEW 612-620 PACIFIC COAST HIGHWAY HUNTINGTON BEACH, CA. 92648		OTIS ARCHITECTURE INC. 16871 Sea Witch Lane Huntington Beach, CA. 92649 (714) 846-6177 ph (714) 846-2817 fax www.otisarchitecture.com	NUMBER	
				DATE JUN/01/00	DRAWN BY E.M.

ATTACHMENT NO. 3.11



City of Huntington Beach
MAR 10 2008

Narrative for 612-620 Pacific Coast Highway
PACIFIC VIEW

We are submitting a proposal for a mixed use project at the corner of 7th Street and Pacific Coast Highway in Downtown Huntington Beach.

The following entitlements are required:

Coastal Development Permit

Conditional Use Permit

Special Permits regarding setbacks

The proposed project is for two levels of underground parking, street level retail of 4,365 sf., four second floor residential units totaling 4,157 sf., three third floor residential units totaling 4,229 sf, and a common roof deck totaling 1,985 sf.

The stone arch is to be built of reclaimed Jerusalem stone. It gives the sense of an "old world frame" through which we see the building. The "plaza" has a piazza pattern reminiscent of Michelangelo's Piazza del Campidoglio, and will be made of recycled glass (from traffic lights, etc.) set into colored concrete. The fountain is an interactive "water play" with water that pops up. On the sidewalk side, the fountain serves as a public bench at sitting height. Sloping green lawns provide a buffer to the sidewalk and mimic the green belt on Pacific Coast Highway at the ocean side.

Landscaping is incorporated into the building design with a planter built into the stone arch and at planters between residential units on the PCH façade. The rear of the project proposes planters that extend along the entire length of the building at all levels to create cascading landscaping that softens the façade towards the residential neighborhood behind the project.

The architecture incorporates a Mediterranean design with a clay tile roof, stone columns, cast stone cornices and detailing, trellises, wood-like doors and windows, fabric awnings with wrought iron detailing, and reclaimed stone.

The goal of the design is to use green materials in a creative and aesthetic way while also adding to the public's enjoyment of the space. The proposed project provides a European plaza-like setting that enhances the experience of strolling downtown.

ATTACHMENT NO. 41

41 Parking stalls are required, and 41 provided.
FAR of 1:1 is provided.
Common and Private Open Space is provided.

Given the project's enhanced architectural design, the use of "green" materials, and the plaza the project provides for the community at Downtown Huntington Beach, we are requesting a "Special Permit" with a reduction in the following setbacks:

Front setback of 15' in lieu of the required 25'
7th street setback of 10' in lieu of the required 15'
Interior side setback of 5' in lieu of the required 7'.



City of Huntington Beach

2000 MAIN STREET

CALIFORNIA 92648

DEPARTMENT OF PLANNING

August 29, 2008

Karen Otis
Otis Architecture
16871 Sea Witch Ln.
Huntington Beach, CA 92649

SUBJECT: COASTAL DEVELOPMENT PERMIT NO. 2008-005, CONDITIONAL USE PERMIT NO. 2008-011, DESIGN REVIEW NO. 2008-011, AND SPECIAL PERMIT NO. 2008-002 (17725 BEACH BLVD.) PROJECT IMPLEMENTATION CODE REQUIREMENTS

Dear Ms. Otis,

In order to assist you with your development proposal, staff has reviewed the project and identified applicable city policies, standard plans, and development and use requirements, excerpted from the City of Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes. This list is intended to help you through the permitting process and various stages of project implementation.

It should be noted that this requirement list is in addition to any "conditions of approval" adopted by the Planning Commission. Please note that if the design of your project or site conditions change, the list may also change.

The attached project implementation code requirements may be appealed to the Planning Commission as a matter separate from the associated entitlement(s) within ten calendar days of the approval of the project pursuant to the Huntington Beach Zoning and Subdivision Ordinance Section 248.24. The appeal fee is \$494.00.

If you would like a clarification of any of these requirements, an explanation of the Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes, or believe some of the items listed do not apply to your project, and/or you would like to discuss them in further detail, please contact me at 714-374-1682 or at rtalleh@surfcity-hb.org and/or the respective source department (contact person below).

Sincerely,

Rami Talleh,
Associate Planner

Enclosure

cc: Gerald Caraig, Building and Safety Department – 714-374-1575
Lee Caldwell, Fire Department – 714-536-5531
Steve Bogart, Public Works – 714-536-1692
Herb Fauland, Principal Planner
Jason Kelley, Planning Department
Michael Younessi, Alea Investments, LLC., 16033 BOlsa Chica St. Ste. 104-200
Project File

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JUL 29 2008



HUNTINGTON BEACH PUBLIC WORKS DEPARTMENT

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: JULY 28, 2008

PROJECT NAME: PACIFIC VIEW MIXED USE BUILDING

ENTITLEMENTS: CDP NO. 2008-005, CUP NO. 2008-011, DR NO. 2008-011 AND SPECIAL PERMIT NO. 2008-002

PLNG APPLICATION NO: 2008-0050

DATE OF PLANS: MARCH 3, 2008

PROJECT LOCATION: 620 PACIFIC COAST HIGHWAY (NORTHEAST CORNER OF PACIFIC COAST HIGHWAY AND 7 TH STREETS)

PROJECT PLANNER: RAMI TALLEH, ASSOCIATE PLANNER

TELEPHONE/E-MAIL: 714-374-1682 / RTALLEH@SURFCITY-HB.ORG

PLAN REVIEWER: JAMES WAGNER, SENIOR CIVIL ENGINEER *jeu*

TELEPHONE/E-MAIL: 714-536-5467 / JWAGNER@SURFCITY-HB.ORG

PROJECT DESCRIPTION: TO PERMIT THE DEVELOPMENT OF A 12,751 MIXED USE DEVELOPMENT CONSISTING OF RETAIL ON THE FIRST FLOOR AND RESIDENTIAL ON THE SECOND AND THIRD FLOOR.

The following is a list of code requirements deemed applicable to the proposed project based on plans as stated above. The items below are to meet the City of Huntington Beach's Municipal Code (HBMC), Zoning and Subdivision Ordinance (ZSO), Department of Public Works Standard Plans (Civil, Water and Landscaping) and the American Public Works Association (APWA) Standards Specifications for Public Works Construction (Green Book), the Orange County Drainage Area management Plan (DAMP), and the City Arboricultural and Landscape Standards and Specifications. The list is intended to assist the applicant by identifying requirements which shall be satisfied during the various stages of project permitting, implementation and construction. If you have any questions regarding these requirements, please contact the Plan Reviewer or Project Planner.

This memo shall supersede the previous memo dated April 10, 2008. This memo eliminates development requirements for a Final Parcel Map which is not required for this entitlement.

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO
ISSUANCE OF A GRADING PERMIT:**

1. The following dedication to the City of Huntington Beach shall be shown on the Grading Plan (ZSO 230.084A).
 - a. 4.5-feet of additional alley dedication. This will bring the alley right-of-way line to 12-feet from alley centerline. (ZSO 230.84)
2. A Legal Description and Plot Plan of the dedication to City to be prepared by a licensed surveyor or engineer and submitted to Public Works for review and approval. The dedication shall be recorded prior to issuance of a grading permit.
3. A Precise Grading Plan, prepared by a Licensed Civil Engineer, shall be submitted to the Public Works Department for review and approval. (MC 17.05/ZSO 230.84) The plans shall comply with Public Works plan preparation guidelines and include the following improvements on the plan:
 - a. Set back of underground parking walls shall be a minimum of 5 feet from the Public right-of-way.
 - b. All curb, gutter and sidewalk along the 7th Street frontage shall be removed and replaced per Public Works Standard Plan Nos. 202 and 207. (ZSO 230.84)
 - c. All curb, gutter and sidewalk along the Pacific Coast Highway frontage shall be removed and replaced per CALTRANS Standard Plans. (ZSO 230.84)
 - d. Pavement for 4.5-feet of additional alley dedication. (ZSO 230.84)
 - e. An ADA compliant access ramp at the corner per CALTRANS Standard Plan A88A. (ZSO 230.84, ADA)
 - f. A new sewer lateral shall be installed connecting to the main in the alley. (ZSO 230.84)
 - g. Each unit may have a separate domestic water service and meter, installed per Water Division Standards, and sized to meet the minimum requirements set by California Plumbing Code (CPC). Alternatively, the building complex or individual floor may be served by a master water service and meter. The domestic water service(s) shall be a minimum of 1-inch in size for residential use and 2-inch in size for commercial. (ZSO 230.84)
 - h. A separate irrigation water service and meter shall be installed per Water Division Standards. The water service shall be a minimum of 1-inch in size. (ZSO 232)
 - i. A separate dedicated fire service line shall be constructed per Water Division Standards for the fire sprinkler system required by the fire Department (ZSO 230.84)
 - j. A separate backflow protection device shall be installed per Water Division Standards for domestic, irrigation, and fire water services. (Resolution 5921 and Title 17)
 - k. The existing water services and meter shall be abandoned per water Division Standards (ZSO 230.84)
4. If soil remediation is required, a remediation plan shall be submitted to the Planning, Public Works and Fire Departments for review and approval in accordance with City Specifications No. 431-92 and the conditions of approval. The plan shall include methods to minimize remediation-related impacts on the surrounding properties; details on how all drainage associated with the

remediation efforts shall be retained on site and no wastes or pollutants shall escape the site; and shall identify wind barriers around remediation equipment. (MC 17.05.150/FD Spec. 431-92)

5. A Landscape and Irrigation Plan, prepared by a Licensed Landscape Architect shall be submitted to the Public Works Department for review and approval by the Public Works and Planning Departments. (ZSO 232.04)
 - a. "Smart irrigation controllers" and/or other innovative means to reduce the quantity of runoff shall be installed. (ZSO 232.04D)
 - b. Standard landscape code requirements apply. (ZSO 232)
6. All landscape planting, irrigation and maintenance shall comply with the City Arboricultural and Landscape Standards and Specifications. (ZSO 232.04B)
7. Landscaping plans should utilize native, drought-tolerant landscape materials where appropriate and feasible. (DAMP)
8. A Consulting Arborist (approved by the City Landscape Architect) shall review the final landscape tree-planting plan and approve in writing the selection and locations proposed for new trees and the protection measures and locations of existing trees to remain. Said Arborist signature shall be incorporated onto the Landscape Architect's plans and shall include the Arborist's name, certificate number and the Arborist's wet signature on the final plan. (Resolution 4545)
9. Hydrology and hydraulic analysis shall be submitted for Public Works review and approval (10, 25, and 100-year storms and back to back storms shall be analyzed). The drainage improvements shall be designed and constructed as required by the Department of Public Works to mitigate impact of increased runoff due to development, or deficient, downstream systems. Design of all necessary drainage improvements shall provide mitigation for all rainfall event frequencies up to a 100-year frequency. (ZSO 230.84)
10. A Project Water Quality Management Plan (WQMP) conforming to the City of Huntington Beach's Project WQMP Preparation Guidance Manual dated June 2006 and prepared by a Licensed Civil Engineer, shall be submitted to the Department of Public Works for review and acceptance and shall include the following:
 - a. Discusses regional or watershed programs (if applicable)
 - b. Addresses Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas
 - c. Incorporates the applicable Routine Source Control BMPs as defined in the Drainage Area Management Plan (DAMP)
 - d. Incorporates Treatment Control BMPs as defined in the DAMP
 - e. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs
 - f. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs
 - g. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs
 - h. Includes an Operations and Maintenance (O&M) Plan for all structural BMPs

- i. After incorporating plan check comments of Public Works, three final WQMPs (signed by the owner and the Registered Civil Engineer of record) shall be submitted to Public Works for acceptance. After acceptance, two copies of the final report shall be returned to applicant for the production of a single complete electronic copy of the accepted version of the WQMP on CD media that includes:
 - i. The 11" by 17" Site Plan in .TIFF format (400-by 400 dpi minimum).
 - ii. The remainder of the complete WQMP in .PDF format including the signed and stamped title sheet, owner's certification sheet, Inspection/Maintenance Responsibility sheet, appendices, attachments and all educational material.
 - j. The applicant shall return one CD media to Public Works for the project record file.
11. Indicate the type and location of Water Quality Treatment Control Best Management Practices (BMPs) on the Grading Plan consistent with the Project WQMP. The WQMP shall follow the City of Huntington Beach; Project Water Quality Management Plan Preparation Guidance Manual dated June 2006. The WQMP shall be submitted with the first submittal of the Grading Plan.
 12. A suitable location, as approved by the City, shall be depicted on the grading plan for the necessary trash enclosure(s). The area shall be paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, and screened or walled to prevent off-site transport of trash. The trash enclosure area shall be covered or roofed with a solid, impervious material. Connection of trash area drains into the storm drain system is prohibited. If feasible, the trash enclosure area shall be connected into the sanitary sewer. (DAMP)
 13. A soils report, prepared by a Licensed Engineer shall be submitted for reference only. (MC 17.05.150)
 14. The applicant's grading/erosion control plan shall abide by the provisions of AQMD's Rule 403 as related to fugitive dust control. (AQMD Rule 403)
 15. The name and phone number of an on-site field supervisor hired by the developer shall be submitted to the Planning and Public Works Departments. In addition, clearly visible signs shall be posted on the perimeter of the site every 250 feet indicating who shall be contacted for information regarding this development and any construction/grading-related concerns. This contact person shall be available immediately to address any concerns or issues raised by adjacent property owners during the construction activity. He/She will be responsible for ensuring compliance with the conditions herein, specifically, grading activities, truck routes, construction hours, noise, etc. Signs shall include the applicant's contact number, regarding grading and construction activities, and "1-800-CUTSMOG" in the event there are concerns regarding fugitive dust and compliance with AQMD Rule No. 403.
 16. The applicant shall notify all property owners and tenants within 300 feet of the perimeter of the property of a tentative grading schedule at least 30 days prior to such grading.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH DURING GRADING OPERATIONS:

1. An Encroachment Permit is required for all work within the City's right-of-way. (MC 12.38.010/MC 14.36.030)
2. An Encroachment Permit is required for all work within Caltrans' right-of-way. (CALTRANS)

3. The developer shall coordinate the development of a truck haul route with the Department of Public Works if the import or export of material in excess of 5000 cubic yards is required. This plan shall include the approximate number of truck trips and the proposed truck haul routes. It shall specify the hours in which transport activities can occur and methods to mitigate construction-related impacts to adjacent residents. These plans must be submitted for approval to the Department of Public Works. (MC 17.05.210)
4. Water trucks will be utilized on the site and shall be available to be used throughout the day during site grading to keep the soil damp enough to prevent dust being raised by the operations. (California Stormwater BMP Handbook, Construction Wind Erosion WE-1)
5. All haul trucks shall arrive at the site no earlier than 8:00 a.m. or leave the site no later than 5:00 p.m., and shall be limited to Monday through Friday only. (MC 17.05)
6. Wet down the areas that are to be graded or that is being graded, in the late morning and after work is completed for the day. (WE-1/MC 17.05)
7. The construction disturbance area shall be kept as small as possible. (California Stormwater BMP Handbook, Construction Erosion Control EC-1) (DAMP)
8. All haul trucks shall be covered or have water applied to the exposed surface prior to leaving the site to prevent dust from impacting the surrounding areas. (DAMP)
9. Prior to leaving the site, all haul trucks shall be washed off on-site on a gravel surface to prevent dirt and dust from leaving the site and impacting public streets. (DAMP)
10. Comply with appropriate sections of AQMD Rule 403, particularly to minimize fugitive dust and noise to surrounding areas. (AQMD Rule 403)
11. Wind barriers shall be installed along the perimeter of the site. (DAMP)
12. All construction materials, wastes, grading or demolition debris and stockpiles of soils, aggregates, soil amendments, etc. shall be properly covered, stored and secured to prevent transport into surface or ground waters by wind, rain, tracking, tidal erosion or dispersion. (DAMP)

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. A Precise Grading Permit shall be issued. (MC 17.05)
2. Traffic impact fees shall be paid at the rate applicable at the time of Building Permit issuance. The current rate of \$154 per net new added daily trip is adjusted annually. This project is forecast to generate 220 new daily trips for a total traffic impact fee of \$31,108.00. The rate is subject to an annual adjustment on December 1st. (MC 17.65)

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT:

1. Traffic Control Plans, prepared by a Licensed Civil or Traffic Engineer, shall be prepared in accordance with the latest edition of the City of Huntington Beach Construction Traffic Control Plan Preparation Guidelines and submitted for review and approval by the Public Works Department. (Construction Traffic Control Plan Preparation Guidelines)

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO FINAL INSPECTION OR OCCUPANCY:

1. Complete all improvements as shown on the approved grading and landscape plans. (MC 17.05)
2. General tree requirements, regarding quantities and sizes shall apply to this site. (ZSO 232.08B and C).
3. All landscape irrigation and planting installation shall be certified to be in conformance to the City approved landscape plans by the Landscape Architect of record in written form to the City Landscape Architect. (ZSO 232.04D)
4. Applicant shall provide City with CD media TIFF images (in City format) and CD (AutoCAD only) copy of complete City Approved landscape construction drawings as stamped "Permanent File Copy" prior to starting landscape work. Copies shall be given to the City Landscape Architect for permanent City record.
5. Prior to grading or building permit close-out and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
 - a. Demonstrate that all structural Best Management Practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
 - b. Demonstrate all drainage courses, pipes, gutters, basins, etc. are clean and properly constructed.
 - c. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
 - d. Demonstrate that an adequate number of copies of the approved Project WQMP are available for the future occupiers.
6. All new utilities shall be undergrounded. (MC 17.64)
7. All applicable Public Works fees shall be paid at the current rate unless otherwise stated, per the Public Works Fee Schedule adopted by the City Council and available on the city web site at http://www.surfcity-hb.org/files/users/public_works/fee_schedule.pdf. (ZSO 240.06/ZSO 250.16)
8. The Water Ordinance #14.52, the "Water Efficient Landscape Requirements" apply for projects with 2500 square feet of landscaping and larger. (MC 14.52)



HUNTINGTON BEACH FIRE DEPT. PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: APRIL 2, 2008
DATE OF PLANS: MARCH 3, 2008
PROJECT NAME: PACIFIC VIEW MIXED USE BUILDING
PLANNING APPLICATION NO. PLANNING APPLICATION NO. 2008-0050
ENTITLEMENTS: COASTAL DEVELOPMENT PERMIT NO. 2008-005, CONDITIONAL USE PERMIT NO. 2008-011, DESIGN REVIEW NO. 2008-011 AND SPECIAL PERMIT NO. 2008-002
PROJECT LOCATION: 620 PACIFIC COAST HIGHWAY (NORTHEAST CORNER OF PACIFIC COAST HIGHWAY AND 7TH STREET)
PLANNER: RAMI TALLEH, ASSOCIATE PLANNER
TELEPHONE/E-MAIL: (714) 374-1682/ rtalleh@surfcity-hb.org
PLAN REVIEWER-FIRE: LEE CALDWELL, FIRE DEVELOPMENT SPECIALIST
TELEPHONE/E-MAIL: (714) 536-5531/ lcaldwell@surfcity-hb.org
PROJECT DESCRIPTION: TO PERMIT THE DEVELOPMENT OF A 12,751 MIXED USE DEVELOPMENT CONSISTING OF RETAIL ON THE FIRST FLOOR AND RESIDENTIAL ON THE SECOND AND THIRD FLOOR.

The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated March 13 and 31, 2008. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. If you have any questions regarding these requirements, please contact the Plan Reviewer- Fire: LEE CALDWELL, FIRE DEVELOPMENT SPECIALIST.

PRIOR TO DEMOLITION, GRADING, SITE DEVELOPMENT, ISSUANCE OF GRADING PERMITS, BUILDING PERMITS, AND/OR CONSTRUCTION, THE FOLLOWING SHALL BE REQUIRED:

Current or Former Gas Station Site (Underground Storage Tanks)

Based on site characteristics, suspected soil contamination, or proximity to former gas station underground storage tanks, the following is required:

- a. ***"Soil Testing"***
 - A soil testing plan conforming to *City Specification #431-92 Soil Clean-Up Standards* shall be submitted and approved by the Fire Department.

- All soils shall conform to *City Specification #431-92 Soil Clean-Up Standards*, and testing results must be submitted, and approved by the Fire Department prior to issuance of a grading or building permit.
 - **Note:** Each site will be evaluated on an individual basis.
 - Reference that all soils shall be in compliance with *City Specification #431-92 Soil Clean-Up Standards* in the plan notes. **(FD)**
- b. **“Remediation Action Plan”** If contamination is identified, provide a Fire Department approved Remediation Action Plan (RAP) based on requirements found in Huntington Beach *City Specification #431-92, Soil Cleanup Standard*. Upon remediation action plan approval, a rough grading permit may be issued. **(FD)**
- c. **Proof of OCHCA Site Closure or Corrective Action Plan.** Removal of flammable or combustible liquid underground storage tanks (UST) requires the applicant to submit one of the following to the Huntington Beach Fire Department:
- An approved Orange County Health Care Agency UST **Site Closure Letter**, or
 - Provide an Orange County Health Care Agency UST **Corrective Action Plan** and written permission for co-existence.

If OCHCA requires on-going remediation and co-existence with the proposed development is permissible, a copy of the approved Orange County Health Care Agency plan and written permission for co-existence must be submitted in order to obtain Huntington Beach Fire Department approval. Each site will be evaluated on an individual basis.

Prior to building construction, all soils shall conform to *City Specification #431-92 Soil Clean-Up Standards*, and testing results must be submitted, and approved by the Fire Department prior to issuance of a grading permit. **(FD)**

- d. **Vapor Extraction Treatment Equipment and Areas** as outlined in the Orange County Health Care Agency UST **Corrective Action Plan** shall conform to *City Specification # 431, Oil Field Gas Fired Appliances – Stationary and Portable, City Specification # 434, Gas Station Remediation Requirements*, and the *Huntington Beach Oil Code and Building Codes*. **(FD)**
- e. **Fire Code Permit for Tank Removal/Installation.** Installation and/or removal of underground flammable or combustible liquid storage tanks (UST) require the applicant to first obtain an approved Orange County Environmental Health Care UST permit/site plan. This approved plan must be presented in order to obtain the required Huntington Beach Fire Department *Fire Code Permit Application* to conduct installation and/or removal operations. **(FD)**

Methane Mitigation District Requirements

The proposed construction is within the City of Huntington Beach Methane Mitigation District.

NOTE: Abandoned oil wells are located on the proposed construction property.

- a. ***DOGGR “CONSTRUCTION SITE REVIEW” is required.*** A California Division of Oil, Gas & Geothermal Resources (DOGGR – 714-816-6847), *Site Plan Review* is required for this project. (See included application).

Identify the well name and well API number. Show the location of the abandoned oil well in question. Accurately locate with “x” and “y” parameters delineated. A completed DOGGR *Site Plan Review* must be on-file with the Fire Department prior to plan approval.

Wells identified in the Site Review not meeting current DOGGR requirements may require re-abandonment. If required, the following permits shall be obtained and submitted:

- From the Division of Oil, Gas & Geothermal Resources (DOGGR – (714) 816-6847), provide a *Permit to Conduct Well Operations* for all on-site active/abandoned oil wells.
 - Obtain a Huntington Beach Fire Department *Permit to Abandon Oil Well* and follow the requirements of *City Specification #422, Oil Well Abandonment Permit Process*. Reference compliance with *City Specification #422, Oil Well Abandonment Permit Process* in the plan notes. **(FD)**
- b. ***“OIL WELL HISTORY DISPOSITION REPORT” is required.*** A California licensed third-party petroleum engineer or geologist compiles a disposition report for submittal to the Fire Department – Development Section. (see *City Specification # 429, section 3.2*) **(FD)**
- c. ***“CITY CONSULTANT - OIL WELL HISTORY REVIEW” is required.*** The city consultant reviews the submitted *OIL WELL HISTORY DISPOSITION REPORT* for completeness, well integrity, and recommended safety measures. (see *City Specification # 429, section 3.3*) **(FD)**
- d. ***“SOIL TESTING” is required.*** Based on site characteristics, suspected soil contamination, proximity to a producing/abandoned oil well, or Phase I,II, or III Site Audit, soil testing is required. Soil testing plan must be approved by the Fire Department. (see *City Specification # 429, section 3.4* and *City Specification #431-92 Soil Clean-Up Standards*) .

Note: Grading Plans must be approved by the Fire Department prior to issuance of a Public Works grading permit. Standard Fire Department notes are required to be on the plans on oil industry impacted sites. Additional requirements will be necessary for the development of former oilfield property. **(FD)**

- e. **“REMEDIATION ACTION PLAN”** If contamination is identified, provide a Fire Department approved Remediation Action Plan (RAP) based on requirements found in Huntington Beach *City Specification #431-92, Soil Cleanup Standard*. Upon remediation action plan approval, a rough grading permit may be issued. **(FD)**
- f. **“METHANE SAFETY MEASURES” are required.** *City Specification # 429, Methane District Building Permit Requirements.*

Methane safety measures shall be detailed on a separate sheet titled “METHANE PLAN” and three copies submitted to the Fire Department for approval. Requirements include:

- **Abandoned Well Gas Test.**
- **Well Vent System.**
- **Methane Barrier and Sub-Slab Collection System.**
- **Methane Detection/Alarm System.**

For Fire Department approval, reference compliance with *City Specification #429* in the plan notes. **(FD)**

Construction and Fire Requirements

- a. **Automatic Fire Sprinklers** are required. NFPA13 Automatic fire sprinkler systems are required per Huntington Beach Fire Code for new buildings with “fire areas” 5000 square feet or more or for buildings 10,000 square feet or more. An addition of square footage to an existing building also triggers this requirement.

Separate plans (three sets) shall be submitted to the Fire Department for permits and approval. The system shall provide water flow, tamper and trouble alarms, manual pull stations, interior and exterior horns and strobes, and 24-hour central station monitoring.

Automatic fire sprinkler systems must be maintained operational at all times, with maintenance inspections performed quarterly and the system serviced every five years by a state licensed C-16 Fire Protection Contractor.

For Fire Department approval, reference that a fire sprinkler system will be installed in compliance with the Huntington Beach Fire Code, NFPA 13, and *City Specification # 420 - Automatic Fire Sprinkler Systems* in the plan notes.

NOTE: When buildings under construction are more than one (1) story in height and required to have automatic fire sprinklers, the fire sprinkler system shall be installed and operational to protect all floors lower than the floor currently under construction. Fire sprinkler systems for the current floor under construction shall be installed, in-service, inspected and approved prior to beginning construction on the next floor above. **(FD)**

- b. **Fire Department Connections (FDC)** to the automatic fire sprinkler systems shall be located to the Seventh Street side of the building, at least 25 feet from and no farther than 150 feet of a properly rated fire hydrant. **(FD)**
- c. **Fire Service Piping (FSP)** Application for permit shall be made for on-site Fire Service Piping (FSP), including but not limited to, private fire service mains and underground sprinkler laterals. Maximum allowed velocity of fire flow in supply piping is 12 fps. Additionally, application for permit shall be made for fire protections systems (sprinklers, alarms, chemical, fire pumps, etc.) as applicable.

Permits may be obtained at the City of Huntington Beach Department Fire Department by completing a Fire Permit Form (available at Fire Administration) and submitting such plans and specifications as required by the bureau of fire prevention. A permit constitutes permission to begin work in accordance with approved plans and specifications. The permit fee includes plan checking and inspections by an authorized fire prevention inspector. Development reviews/approvals by the bureau of fire prevention during planning do not constitute approval to perform FSP or fire protection system work, unless otherwise noted. **(FD)**

- d. **Commercial Fire Sprinkler Systems Supply** shall be from a dedicated fire water service installed per Fire Department, Public Works, and Water Division Standards. The dedicated fire water service connection shall be a minimum of four inches (4") in size. Depending on fire sprinkler system demands, larger water service may be required. Separate plans shall be submitted to the Public Works Department for approval and permits, and must be completed prior to issuance of a grading permit. The dedicated fire water service off-site improvements shall be shown on a precise grading plan, prepared by a Licensed Civil Engineer. Contact Huntington Beach Public Works Department (714-536-5431) for offsite water improvement requirements. **(FD)**
- e. **Trash Dumpsters** or containers with an individual capacity of 1.5 cubic yards (40.5 cubic feet) or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved fire sprinkler system. HBFC 1103.2.2 For Fire Department approval, reference and demonstrate compliance with HBFC 1103.2.2 **(FD)**
- f. **Fire Extinguishers** shall be installed and located in all areas to comply with Huntington Beach Fire Code standards found in *City Specification #424*. The minimum required dry chemical fire extinguisher size is 2A 10BC and shall be installed within 75 feet travel distance to all portions of the building. Extinguishers are required to be serviced or replaced annually. Indicate Fire Extinguisher locations on the plans. For Fire Department plan approval, reference compliance with *City Specification #424, Minimum Requirements for Portable Fire Extinguishers* in the plan notes. **(FD)**
- g. **Recreational or Decorative Fire Pits** shall be fueled by domestic gas only and shall comply with the Huntington Beach Plumbing and Mechanical Codes and Huntington Beach Fire Department Guidelines for Recreational Fire Pits. (See attachment). **(FD)**

- h. **Open-Flame Cooking Device** or barbeque shall be fueled by domestic gas only and conform to Huntington Beach Fire, Plumbing and Mechanical Codes and Huntington Beach Fire Department Guidelines. (See attachment). HBFC 308.3.1 (FD)
- i. **Main Secured Building Entries** shall utilize a KNOX[®] Fire Department Access Key Box, installed and in compliance with City Specification #403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings. Please contact the Huntington Beach Fire Department Administrative Office at (714) 536-5411 for information. Reference compliance with City Specification #403 - KNOX[®] Fire Department Access in the plan notes. (FD)
- j. **Secondary Emergency Access Gates** serving courtyards, paseos, and all project pool or spa areas must be secured with **KNOX[®] Fire Department Access Key Box** in addition to association or facility locks (if any). For Fire Department approval, reference compliance with *City Specification # 403 Fire Access for Pedestrian or Vehicular Security Gates & Buildings* in the plan notes. (FD)
- k. **Fire Sprinkler System Controls Access** shall be provided, utilizing a KNOX[®] Fire Department Access Key Box, installed and in compliance with City Specification #403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings. The approximate location of the system controls shall be noted on the plans. Reference compliance in the plan notes. (FD)
- l. **Secured Vehicle Entries** shall utilize KNOX[®] activated access switches (Knox switches for automated gates, Knox padlocks for manual gates), and comply with City Specification #403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings. Reference compliance in the plan notes. (FD)
- m. **Gates and Barriers** shall be openable without the use of a key or any special knowledge or effort in direction of egress. Gates and barriers in a means of egress shall not be locked, chained, bolted, barred, latched or otherwise rendered unopenable at times when the building or area served by the means of egress is occupied, and shall swing in the direction of travel when required by the Building Code for exit doors. (FD)
- n. **Elevators** shall be sized to accommodate an ambulance gurney. Minimum interior dimensions are 7 feet (84") wide by 4 feet 3 inches (51") deep. Minimum door opening dimensions are 3 feet 6 inches (42") wide right or left side opening. Center opening doors require a 4 feet 6 inches (54") width. For Fire Department approval, reference and demonstrate compliance on the building plans. HBBC 3002.4 (FD)
- o. **Building Address Numbers** shall be installed to comply with City Specification #428, Premise Identification. Building address number sets are required on front of the structure and shall be a minimum of six inches (6") high with one and one half inch (1 ½") brush stroke. Note: Units shall be identified with numbers per City Specification # 409 Street Naming and Address Assignment Process. Unit address numbers shall be a minimum of four inches (4") affixed to the units front door in a contrasting color. For Fire Department approval, reference compliance with City Specification #428 Premise Identification in the plan notes and portray the address location on the building. (FD)

p. **GIS Mapping Information** shall be provided to the Fire Department in compliance with GIS Department CAD Submittal Guideline requirements. Minimum submittals shall include the following:

- Site plot plan showing the building footprint.
- Specify the type of use for the building
- Location of electrical, gas, water, sprinkler system shut-offs.
- Fire Sprinkler Connections (FDC) if any.
- Knox Access locations for doors, gates, and vehicle access.
- Street name and address.

Final site plot plan shall be submitted in the following digital format and shall include the following:

- Submittal media shall be via CD rom to the Fire Department.
- Shall be in accordance with County of Orange Ordinance 3809.
- File format shall be in .shp, AutoCAD, AUTOCAD MAP (latest possible release) drawing file - .DWG (preferred) or Drawing Interchange File - .DXF.
- Data should be in NAD83 State Plane, Zone 6, Feet Lambert Conformal Conic Projection.
- Separate drawing file for each individual sheet.
- In compliance with Huntington Beach Standard Sheets, drawing names, pen colors, and layering convention. and conform to *City of Huntington Beach Specification # 409 – Street Naming and Addressing*.
- Reference compliance with *GIS Mapping Information* in the building plan notes. **(FD)**

q. All Fire Department requirements shall be noted on the Building Department plans. **(FD)**

THE FOLLOWING CONDITIONS SHALL BE MAINTAINED DURING CONSTRUCTION:

- a. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with City Specification #426, Fire Safety Requirements for Construction Sites. **(FD)**

OTHER:

- a. Discovery of additional soil contamination or underground pipelines, etc., must be reported to the Fire Department immediately and the approved work plan modified accordingly in compliance with City Specification #431-92 Soil Clean-Up Standards. **(FD)**

ATTACHMENT NO. 5.14

- b. **Outside City Consultants.** The Fire Department review of this project and subsequent plans may require the use of City consultants. The Huntington Beach City Council approved fee schedule allows the Fire Department to recover consultant fees from the applicant, developer or other responsible party. **(FD)**

Fire Department City Specifications may be obtained at:
Huntington Beach Fire Department Administrative Office
City Hall 2000 Main Street, 5th floor
Huntington Beach, CA 92648
or through the City's website at www.surfcity-hb.org

If you have any questions, please contact the Fire Prevention Division at (714) 536-5411.

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Gas-Fueled Decorative Commercial Fire Pit

For Fire Department approval, a separate submittal (three sets of plans) is required for commercial decorative fire pits. Plans shall demonstrate the following:

- For a UL or other listing agency rated device, provide information, specification, or cut sheets to support the safe installation and operation of this fire pit appliance in this application. Rated devices must demonstrate the same safety concepts as a scratch-built on-site fire pit.
- If this fire pit is to be scratch-built on-site, it must conform to the following:
 - Fire pit shall be sufficiently designed so as to prevent accidental contact by patrons with flames or hot objects. Specific consideration shall be given to wind or air currents/eddies and the horizontal laying-down of the flames or convected heat. Radiant heating of the surrounding area shall also be considered.
 - By sound design the fire pit shall prevent the possibility of tripping, stumbling or falling into the fire pit by adults or children through the use of railing, shielding or other design considerations.
 - For fire pits covered by a roof structure, a listed hood system shall safely convey products of combustion away from the area through the roof per recognized building and mechanical code standards and practices.
 - The gas supply system shall supply a regulated set pressure to the burners and by design shall limit the amount of flame production to a safe, standardized level. All gas related piping, valves, and regulators shall conform to the building, mechanical, and fire codes and shall utilize sound industry practices.
 - An emergency shut-off to the gas system shall be located in the vicinity so as to provide rapid manual shutdown of the fire pit and shall have a wall-mounted sign identifying the valve as "Emergency Fire Pit Shut-Off". Provision shall be made so that the gas can not be turned back on without relighting the flame.
 - Construction of the fire pit shall be of concrete or a non-combustible material and shall prevent patron contact with hot surfaces.
CFC/HBFC 1102.5.2.1
 - Fire Pit shall not be located within 10 feet of combustible walls, roofs, or other combustible materials. CFC/HBFC 1102.5.2.2
 - A 2a-10bc fire extinguisher, located within thirty feet (30'), shall be provided per CFC/HBFC 1102.5.2.3



HUNTINGTON BEACH PLANNING DEPARTMENT

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: APRIL 10, 2008

PROJECT NAME: PACIFIC VIEW MIXED USE BUILDING

PLANNING APPLICATION NO. PLANNING APPLICATION NO. 2008-0050

ENTITLEMENTS: COASTAL DEVELOPMENT PERMIT NO. 2008-005, CONDITIONAL USE PERMIT NO. 2008-011, DESIGN REVIEW NO. 2008-011 AND SPECIAL PERMIT NO. 2008-002

DATE OF PLANS: MARCH 3, 2008

PROJECT LOCATION: 620 PACIFIC COAST HIGHWAY (NORTHEAST CORNER OF PACIFIC COAST HIGHWAY AND 7TH STREET)

PLAN REVIEWER: RAMI TALLEH, SENIOR PLANNER

TELEPHONE/E-MAIL: (714) 374-1682 /rtalleh@surfcity-hb.org

PROJECT DESCRIPTION: TO PERMIT THE DEVELOPMENT OF A 12,751 MIXED USE DEVELOPMENT CONSISTING OF RETAIL ON THE FIRST FLOOR AND RESIDENTIAL ON THE SECOND AND THIRD FLOOR.

The following is a list of code requirements deemed applicable to the proposed project based on plans stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

COASTAL DEVELOPMENT NO. 2008-005/CONDITIONAL USE PERMIT NO. 2008-0011/ SPECIAL PERMIT NO. 2008-002:

1. The site plan, floor plans, and elevations approved by the Planning Commission shall be the conceptually approved design with the following modifications:
 - a. Parking lot striping shall comply with Chapter 231 of the Zoning and Subdivision Ordinance and Title 24, California Administrative Code.
 - b. Depict all utility apparatus, such as but not limited to, back flow devices and Edison transformers on the site plan. Utility meters shall be screened from view from public right-of-ways. Electric transformers in a required front or street side yard shall be enclosed in subsurface vaults. Backflow prevention devices shall be prohibited in the front yard setback and shall be screened from view.

- c. All exterior mechanical equipment shall be screened from view on all sides. Rooftop mechanical equipment shall be setback a minimum of 15 feet from the exterior edges of the building. Equipment to be screened includes, but is not limited to, heating, air conditioning, refrigeration equipment, plumbing lines, ductwork and transformers. Said screening shall be architecturally compatible with the building in terms of materials and colors. If screening is not designed specifically into the building, a rooftop mechanical equipment plan showing proposed screening must be submitted for review and approval with the application for building permit(s).
- d. Depict the location of all gas meters, water meters, electrical panels, air conditioning units, mailboxes (as approved by the United States Postal Service), and similar items on the site plan and elevations. If located on a building, they shall be architecturally integrated with the design of the building, non-obtrusive, not interfere with sidewalk areas and comply with required setbacks.
- e. All parking area lighting shall be energy efficient and designed so as not to produce glare on adjacent residential properties. Security lighting shall be provided in areas accessible to the public during nighttime hours, and such lighting shall be on a time-clock or photo-sensor system. **(HBZSO 231.18(C))**
- f. All setback areas fronting on or visible from an adjacent public street, and all recreation, leisure and open space areas shall be landscaped and permanently maintained in an attractive manner and shall be consistent with the adopted Design Guidelines. **(SP5 4.2.12a)**
- g. On-site trees shall be provided in all developments as follows: One (1) thirty-six (36) inch box tree for each residential unit or for each 2,500 square feet of gross site area for commercial or office space. Alternatively, the equivalent of thirty-six (36) inch box trees may be provided where feasible (except when palm trees are required). **(SP5 4.2.12c)**
- h. All parking lots shall provide a decorative masonry wall or landscaped berm installed in the setback area. All landscaping shall be installed within the parking lot area, in accordance with the Huntington Beach Ordinance Code. Parking structures must screen all street-level parking areas from the public ROW. Such screening must be approved by the Director. The setback area shall be landscaped in accordance with the following guidelines and a landscape plan shall be submitted to and approved by the Director **(SP5 4.2.12e)**:
 - i. Where feasible, planting material shall include a minimum three (3) five (5) gallon size shrubs for each seventy-five (75) square feet of landscaped area and at least one (1) thirty-six (36) inch box tree or palm for each one hundred and fifty (150) square feet of landscaped area (except when palm trees are required).
 - ii. The setback area shall be planted with suitable ground cover.
 - iii. The landscaped area shall be provided with an irrigation system which conforms to the standards specified for landscaped medians by the Department of Public Works.
 - iv. All landscaping shall be maintained in a neat and attractive manner.
- i. An on-site lighting system shall be installed on all vehicular access ways and along major walkways. Such lighting shall be directed onto driveways and walkways within the development and away from adjacent properties. Lighting shall also be installed within all

covered and enclosed parking areas. A lighting plan shall be submitted to and approved by the Director. **(SP5 4.2.18)**

- j. A minimum of one hundred (100) cubic feet of outside storage space shall be provided for each residential unit. **(SP5 4.2.19)**
 - k. Refuse collection areas shall be provided within two hundred (200) feet of the units they are to serve. In all developments, trash areas shall be enclosed or screened with a masonry wall, and shall be situated in order to minimize noise and visual intrusion on adjacent property as well as to eliminate fire hazard to adjacent structures. Residents shall be provided with collection areas that are separate and distinct from the collection area of offices and other commercial activities. **(SP5 4.2.22)**
 - l. Bicycle parking facilities shall be provided in accordance with the provisions of **HBZSO Section 231.20 – Bicycle Parking.**
2. Prior to issuance of grading permits, the following shall be completed:
- a. Blockwall/fencing plans (including a site plan, section drawings and elevations, depicting the height and material of all retaining walls, freestanding walls and fences) consistent with the grading plan, shall be submitted to and approved by the Planning Department. Double walls shall be prohibited. Prior to construction of any new property line walls or fences, a plan, approved by the owners of adjacent properties, and identifying the removal of any existing walls, shall be submitted to the Planning Department for review and approval. The plans shall identify proposed wall and fence materials, seep holes and drainage.
3. Prior to submittal for building permits, the following shall be completed:
- a. Zoning entitlement conditions of approval, code requirements identified herein and code requirements identified in separately transmitted memorandum from the Departments of Fire and Public Works shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
 - b. Submit three (3) copies of the site plan and floor plans and the processing fee to the Planning Department for addressing purposes. The address assignment shall be reviewed and approved prior to submittal for building permits.
 - c. Residential type structures on the subject property, whether attached or detached, shall be constructed in compliance with the State acoustical standards set forth for units that lie within the 60 CNEL contours of the property. Evidence of compliance shall consist of submittal of an acoustical analysis report and plans, prepared under the supervision of a person experienced in the field of acoustical engineering, with the application for building permit(s).
 - d. Contact the United States Postal Service for approval of mailbox location(s).
4. Prior to issuance of building permits, the following shall be completed:
- a. A Lot Line Adjustment consolidating the underlying parcels shall be submitted and approved pursuant to Title 25 of the Huntington Beach Zoning and Subdivision Ordinance. Said lot line adjustment shall be recorded prior to issuance of a building permit.
 - b. The Downtown Specific Plan fee of \$831 per acre shall be paid.

- c. All new commercial and industrial development and all new residential development not covered by Chapter 254 of the Huntington Beach Zoning and Subdivision Ordinance, except for mobile home parks, shall pay a park fee, pursuant to the provisions of HBZSO Section 230.20 – Payment of Park Fee. The fees shall be paid and calculated according to a schedule adopted by City Council resolution (City of Huntington Beach Planning Department Fee Schedule).
 - d. A landscape and irrigation plan in conformance with the adopted Design Guidelines shall be subject to approval by the Director and the Department of Public Works prior to the issuance of building permits. **(SP5 4.2.12d)**
5. During demolition, grading, site development, and/or construction, the following shall be adhered to:
- a. Construction equipment shall be maintained in peak operating condition to reduce emissions.
 - b. Use low sulfur (0.5%) fuel by weight for construction equipment.
 - c. Truck idling shall be prohibited for periods longer than 10 minutes.
 - d. Attempt to phase and schedule activities to avoid high ozone days first stage smog alerts.
 - e. Discontinue operation during second stage smog alerts.
 - f. Ensure clearly visible signs are posted on the perimeter of the site identifying the name and phone number of a field supervisor to contact for information regarding the development and any construction/ grading activity.
 - g. An Affordable Housing Agreement in accord with Section 230.26 of the ZSO.
 - h. All Huntington Beach Zoning and Subdivision Ordinance and Municipal Code requirements including the Noise Ordinance. All activities including truck deliveries associated with construction, grading, remodeling, or repair shall be limited to Monday - Saturday 7:00 AM to 8:00 PM. Such activities are prohibited Sundays and Federal holidays.
6. The structure cannot be occupied, the final building permit(s) cannot be approved, and utilities cannot be released until the following has been completed:
- a. All improvements must be completed in accordance with approved plans, except as provided for by conditions of approval.
 - b. Compliance with all conditions of approval specified herein shall be verified by the Planning Department.
 - c. All building spoils, such as unusable lumber, wire, pipe, and other surplus or unusable material, shall be disposed of at an off-site facility equipped to handle them.
 - d. A Certificate of Occupancy must be approved by the Planning Department and issued by the Building and Safety Department.
7. The Development Services Departments (Building & Safety, Fire, Planning and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Planning may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed and approved the proposed changes for conformance with the intent of the Planning Commission's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement

reviewed by the Planning Commission may be required pursuant to the provisions of HBZSO Section 241.18.

8. The applicant and/or applicant's representative shall be responsible for ensuring the accuracy of all plans and information submitted to the City for review and approval.
9. Coastal Development Permit No. 2008-005, Conditional Use Permit No. 2008-011, and Special Permit No. 2008-002 shall not become effective until the ten calendar day appeal period following the approval of the entitlements has elapsed.
10. Coastal Development Permit No. 2008-005, Conditional Use Permit No. 2008-011, and Special Permit No. 2008-002 shall become null and void unless exercised within one year of the date of final approval or such extension of time as may be granted by the Director pursuant to a written request submitted to the Planning Department a minimum 30 days prior to the expiration date.
11. The Planning Commission reserves the right to revoke Coastal Development Permit No. 2008-005, Conditional Use Permit No. 2008-011, and Special Permit No. 2008-002 pursuant to a public hearing for revocation, if any violation of the conditions of approval, Huntington Beach Zoning and Subdivision Ordinance or Municipal Code occurs.
12. The project shall comply with all applicable requirements of the Municipal Code, Building & Safety Department and Fire Department, as well as applicable local, State and Federal Fire Codes, Ordinances, and standards, except as noted herein.
13. Construction shall be limited to Monday – Saturday 7:00 AM to 8:00 PM. Construction shall be prohibited Sundays and Federal holidays.
14. The applicant shall submit a check in the amount of \$50 for the posting of a Notice of Exemption or Notice of Determination at the County of Orange Clerk's Office. The check shall be made out to the County of Orange and submitted to the Planning Department within two (2) days of the Planning Commission's action. If a Notice of Determination is required an additional check in the amount of \$1,800 for California Department of Fish and Game shall be made out to County of Orange and submitted within two (2) days of the Planning Commission's action.
15. All landscaping shall be maintained in a neat and clean manner, and in conformance with the HBZSO. Prior to removing or replacing any landscaped areas, check with the Departments of Planning and Public Works for Code requirements. Substantial changes may require approval by the Planning Commission.
16. All permanent, temporary, or promotional signs shall conform to Chapter 233 of the HBZSO. Prior to installing any new signs, changing sign faces, or installing promotional signs, applicable permit(s) shall be obtained from the Planning Department. Violations of this ordinance requirement may result in permit revocation, recovery of code enforcement costs, and removal of installed signs.

City of Huntington Beach

AUG 13 2008

FERDIE F. FRANKLIN

711 Pacific Coast Highway, Unit 307
Huntington Beach, CA 92648
Home: (714) 573-9667

August 12, 2008

Rami Talleh
Senior Planner
City of Huntington Beach Planning Dept.
2000 Main Street
Huntington Beach, CA 92648

**Re: Draft MND and Request for Variances for Project
at 620 Pacific Coast Highway**

Dear Mr. Talleh:

We are the owners of a unit in the Huntington Pacific development, 711 Pacific Coast Highway, Huntington Beach. These are our comments with respect to the proposed project at 620 Pacific Coast Highway.

The developer asked to be allowed to add an extra story to the structure, to reduce the front yard setback, to reduce the side yard setback, to reduce the interior side yard setback, and to use a slope greater than the Code allows. The developer asks for variances to accommodate these requests. There is nothing indicated that would constitute special circumstances for granting any, much less all, of these variances. Rather, this appears to simply be a case of a developer wanting to put a bigger structure on the lot than allowed per the Code. To grant the variances under these circumstances is unjustified and would constitute a grant of special privileges, inconsistent with the limitations on other properties in the vicinity and zone, in direct contradiction to *Government Code* § 65906.

While we do not oppose reasonable development of the site, we do request that the City require any developer to comply with the law. The proposed development does not.

Very truly yours,



FERDIE F. FRANKLIN
CATHERINE FRANKLIN

FFF:ra

ATTACHMENT NO. 6